

# **Architectural Design Guidelines**

**For the Historic Downtown Conservation  
Overlay District in Tupelo, Mississippi**



**β Testing Version**  
**July 22, 1998**

# Acknowledgements

This document is the result of many hands working together.

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## The Small Town Center

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# Introduction

## **What are Design Guidelines?**

Architectural Design Guidelines are a series of rules and recommendations which preserve the existing positive visual characteristics of an area and promote appropriate change and development. The guidelines are not meant to inhibit growth or new uses, but insure that new development harmonizes with what exists.

## **What are the advantages of Design Guidelines?**

Instituting design guidelines have a number of advantages for residents.

- 1) Design guidelines promote a more beautiful environment to live in.
- 2) Design guidelines are a starting point in helping a community to think about its visual environment.
- 3) Design guidelines can help to protect property values. Similar to the way zoning prevents incompatible uses from being built adjacent to one another, design guidelines help homeowners to plan new developments compatible with what exists and promote positive characteristics.
- 4) Design guidelines help all residents understand the history and unique characteristics of the area they live in.

## **Who is required to follow these guidelines?**

Any property owner in the historic conservation overlay district who is planning a significant change to the exterior of their property or planning to build on previously undeveloped property or property cleared by demolition. See the "Application Form" section and the "Design Guidelines" section for further details.

## **What is the process for approval?**

The process begins with the owner reading through this booklet and filling out the application form in the back. The application form is then returned to the Tupelo Planning Department for review by code officials. The application form is designed to let owners know right away if their proposal passes the guidelines. If the application is approved, the Department will issue a Certificate of Appropriateness allowing the owner to begin work. If the application is denied, the owner may revise and reapply or apply for a variance to the Design Review Board which meets on a quarterly basis.

## **What is in this document?**

The document is divided into three main sections:

- 1) Overview  
The overview describes the history of the downtown district, the landscape and landmarks found in the district, the streetscapes and how all these factors determined the boundaries drawn to create subdistricts within the district.
- 2) Design Guidelines  
The design guidelines are organized by subdistrict in this next section. The guidelines cover issues such as setbacks, lot coverage, accessory buildings, landscape and architectural elements.

3) Types

This section identifies common house types found in the historic district and outlines the important characteristics of each.

4) Application Form

This section contains instructions on using the guidelines and preparing an application for review. Following the application form is a glossary that defines and illustrates many terms used in the design guidelines.

**Who do I call with questions?**

The Tupelo Planning Department administers these guidelines . Questions should be directed to the department.

**What are Districts?**

The historic conservation overlay district is divided into six smaller districts: Highland, Robins, Madison, Church, Magazine and Mill Village. These smaller districts are each defined by similar visual characteristics. See "Overview" section for further detail.

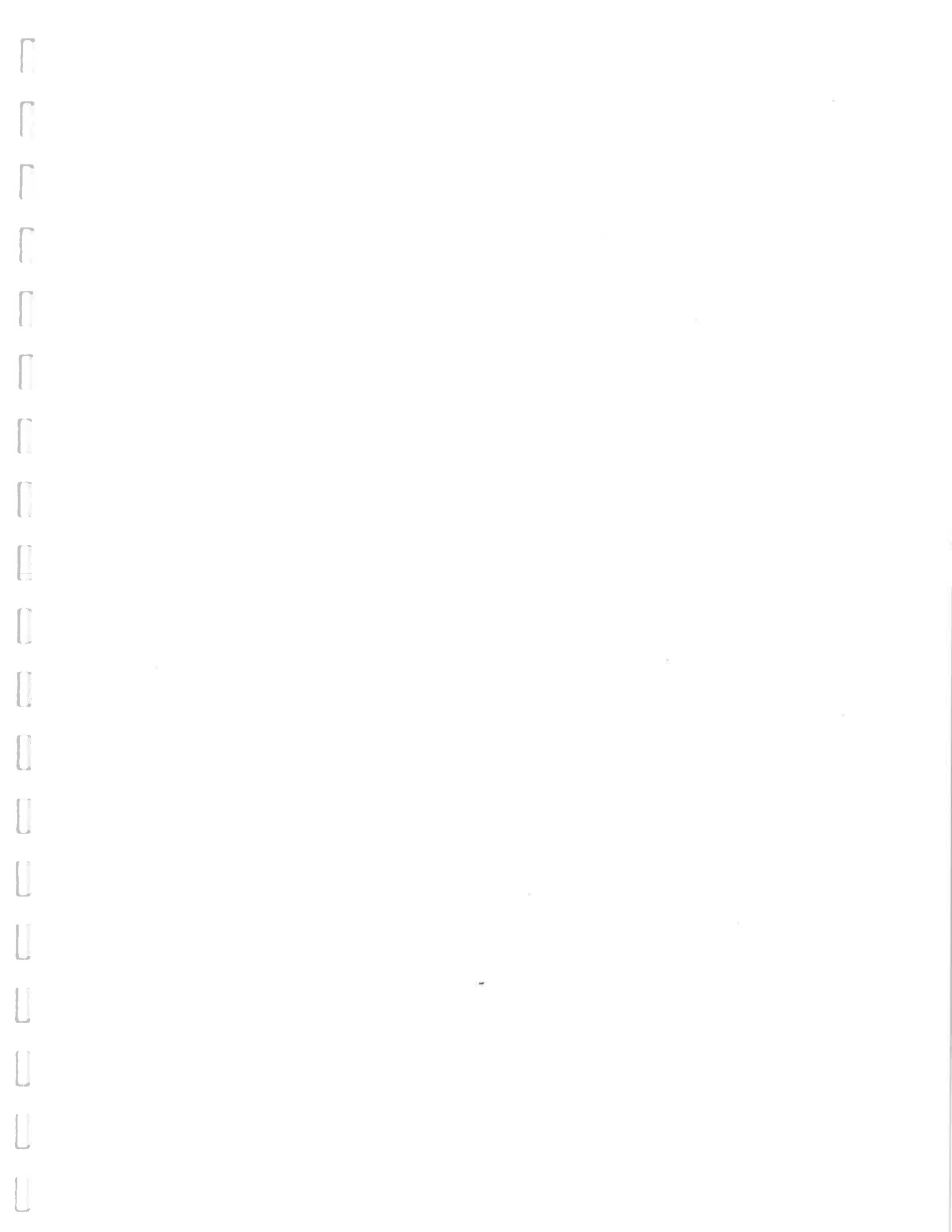
**How were the guidelines written?**

The Small Town Center of Mississippi State University was contacted by the Planning Department of the City of Tupelo and Community Enterprises Inc., a non-profit development corporation, to develop these design guidelines. The guidelines are a step in the downtown neighborhood plan prepared for the Downtown Neighborhood Association by Community Planning & Research, Inc. to revitalize and conserve the neighborhood.

The Small Town Center held a seminar with nine students to study current theory and practice of architectural design guidelines and then develop guidelines for the Downtown Neighborhood Overlay District. Students photographed, measured and analyzed the neighborhood. A first neighborhood meeting was held in March of 1998 to present this analysis and, most importantly, to gather the residents' perceptions of their neighborhoods. The neighbors answered questionnaires, drew maps, and talked with students about different aspects of the neighborhood.

After gathering this information, the seminar examined existing models for guidelines and visited Ocean Springs, Mississippi. The seminar also visited Seaside, Florida, to see how design guidelines shape new developments. Preliminary design guidelines were developed and presented at a further neighborhood meeting for the neighbor's input and suggestions. Finally, the guidelines were revised and collected in this document.

Throughout the process, the Small Town Center met with neighborhood residents, city officials, developers and state officials to make these guidelines as responsive and workable as possible. The guidelines, however, should not be set in stone. As the neighborhood changes, the objectives will change as well. The guidelines only become useful if they are responsive to the objectives of the residents.

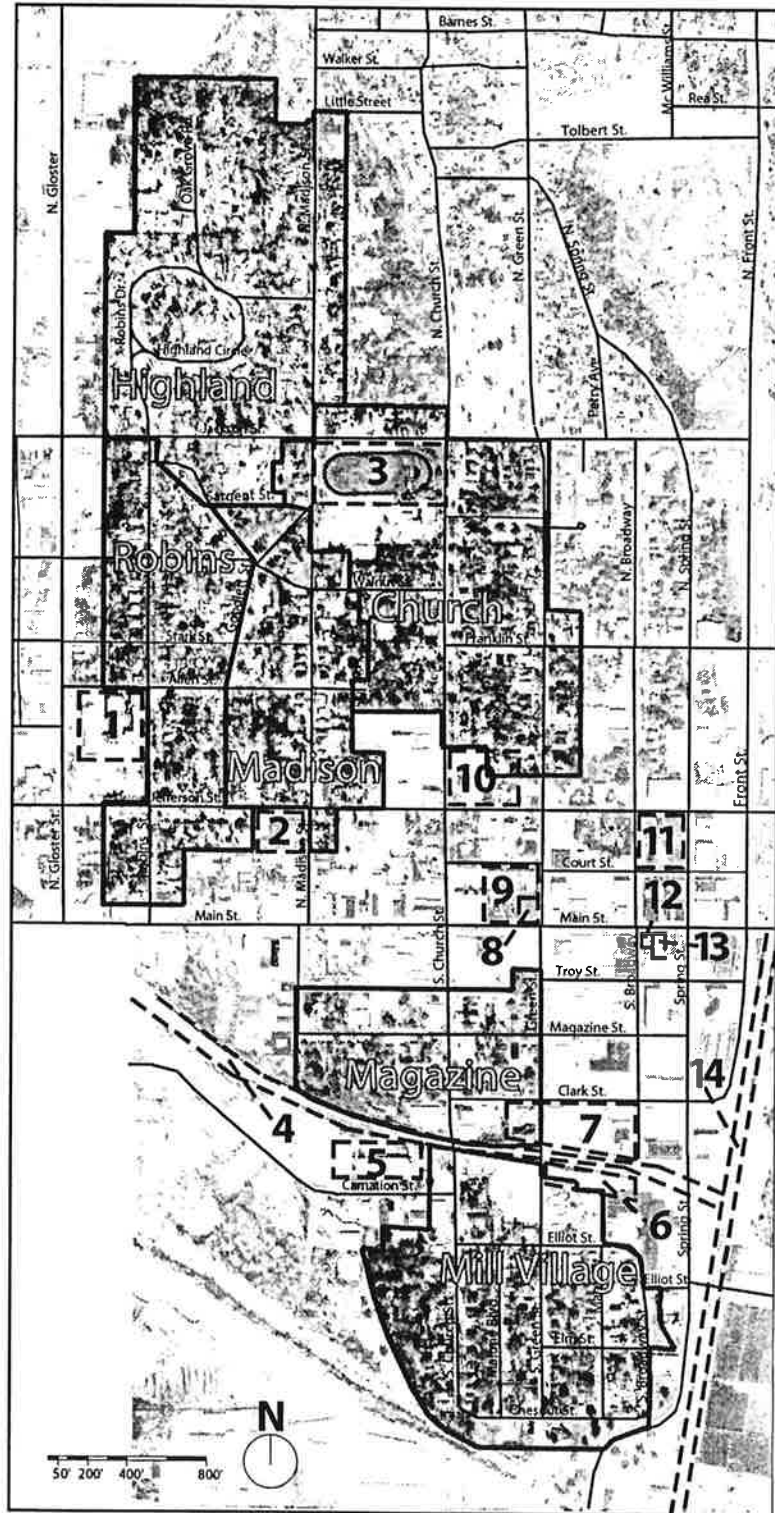


# Overview



# HISTORY LEGEND

- 1—Milam Junior  
Highschool
- 2—Lee County  
Library and  
former site of  
Private John  
Allen's Home
- 3—Robins-Noble  
Field
- 4—Frisco (Memphis &  
Birmingham)  
Railroad
- 5—Carnation Milk  
Plant
- 6—Blue Bell Factory
- 7—Cotton mill
- 8— Former site of the  
YMCA building  
and the first  
community  
hospital
- 9—First United  
Methodist Church
- 10—First Presbyterian  
Church
- 11—Lee County-  
Courthouse
- 12—Create
- 13—Tupelo Art  
Gallery
- 14—Mobile &  
Ohio Railroad



# History of Tuh Pu Lah

(Indian origin with contemporary spelling, Tupelo)

## Early Settlement

The land of Tupelo and its surrounds was obtained from the Chickasaw Indians by the Treaty of Pontotoc in 1832. In 1836 a land office in the town of Pontotoc was established and the recently annexed territory was opened for settlement. "The Tupelo area, however, was not without its merits as a town site. The Chickasaws had used as the site of their capital the nearby highland ridges which overlooked the area's broad rich valleys. Subsequently the old Indian trails were improved to form a primitive road system. Nearby overland transportation routes, of a poor quality in all of North Mississippi, were in many ways better than those of existing towns...Old Town Creek, which formed the eastern boundary of the original town site, was a navigable stream from a point just south of Tupelo." <sup>1</sup> By 1848, settlers from the eastern seaboard states, mostly Scotch-Irish many of which were devout Protestants<sup>2</sup>, moved in and established themselves as planters. "...by 1848 the countryside that surrounds what is now Tupelo had only one inconsequential settlement, a small cluster of houses and two stores located on a low ridge and named Harrisburg in honor of a prosperous prairie farmer." <sup>3</sup>

"(T)own-building received a vital lift when businessmen in Mobile and New Orleans revised long standing plans to construct rail lines into the newly opened territory. As soon as the news reached North Mississippi it prompted a new flurry of town construction."<sup>4</sup> In 1859 the Mobile and Ohio Railroad was laid in an area where nothing but cyprus and tupelo gum trees could survive. In 1860, two settlers, William R. Harris and Christopher Orr<sup>5</sup> filed their plat and wanted a lyrical name to attract prospective immigrants, and hence the name Tupelo was adopted.

## Effects of the War Between the States

The War Between the States interrupted the progress of the area, an area important because of the railroad and supply of grain. General Nathan Bedford Forrest made his headquarters in the Tupelo area for awhile, during which he achieved a brilliant victory in the battle of Brice's Crossroads. "In 1863, on the slope above Tupelo where Harrisburg stood, a retreating Confederate army paused to fight—and lose—the last and one of the bloodiest of the Civil War battles fought in Mississippi...Two days after the battle, the Federal troops burned the community and for inexplicable reasons retreated, leaving behind 250 of their wounded." <sup>6</sup> "The sordid

<sup>1</sup> Grisham, Vaughn L., "Paper Towns & Promises." (reference unknown)

<sup>2</sup> Hodding Carter, "Tupelo, Miss." Saturday Evening Post, 17 Feb. 1951.

<sup>3</sup> Carter, Saturday Evening Post.

<sup>4</sup> Grisham, "Paper Towns & Promises?"

<sup>5</sup> "Tupelo Started As Gum Pond, Got Name By 1868," Daily Journal, vol. 80, no. 310. (author unknown)  
[This document stated that James P. Boyce and Judge James L. Orr came up with the name "Tupelo?"]

<sup>6</sup> Carter, Saturday Evening Post.

An interesting note about the formation of the county seats is that "the rule of thumb for county boundaries was to have no part of the county more than a half day's wagon ride from the most remote spot in the county to the seat of county government. In this way all legal business could be transacted and a person could return home by nightfall. The most desirable trait in a county seat town, therefore, was a central location in the county." <sup>7</sup>



It is said that Private John Allen's home was located where the current Lee County Library is located; in fact, this house contained the library, then was torn down for construction of the current library. (photograph taken from Daily Tupelo Journal Centennial Issue)

<sup>7</sup> Grisham, "Paper Towns & Promises":

<sup>8</sup> Grisham, "Paper Towns & Promises":

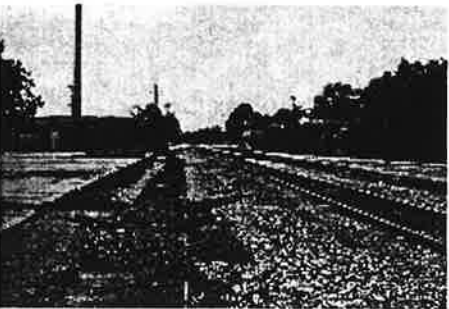
<sup>9</sup> "The History of Tupelo"; *History of Tupelo*. Internet, <<http://www.rankin.tupelo.k12.ms.us/CF/TupHist.html>>, 16 February 1998, p. 1-4.

<sup>10</sup> Carter, *Saturday Evening Post*.

<sup>11</sup> "The History of Tupelo"; Internet.



The Beaux Arts style Lee County Courthouse was built in 1902, and today is listed on the National Register of Historic Places.



The Memphis and Birmingham Railroad

stories and the notorious buildings (of Tupelo) were both overshadowed by the horrors and physical destruction of the war. By the conflict's end, tumble-down ruins marked the location of recently built structures...The railroad, which served as the lifeline in the cotton economy, was in desperate straits. All of the railroad's bridges, trestleworks, warehouses and station buildings both north and south of Tupelo were destroyed by Union forces over a 180-mile distance." <sup>8</sup>

## Expanded Development in the Historic District

On October 6, 1866, Lee County was formed and on April 15, 1867 Tupelo was selected as the county seat raising Tupelo from "the status of village to town and later into an industrial city." <sup>9</sup> On July 20, 1870, Tupelo was granted its charter of incorporation. Like most of the south, the following fifteen years was a period of overcoming the destructive aftermath of the Civil War with little capital. In 1875, the town of 100 people consisted of three stores, a bank, a courthouse and several business houses with no sidewalks or paved streets. The large area between Main Street and the Courthouse Square served as a hitching yard for the farm people coming to town to trade.

John Allen was an important character in the history of Tupelo. He resided in the Historic District, and sought election to the national House of Representatives in 1885. It has been written about him,

"His principal opponent was a General Tucker, late of the Army of the Confederacy, in which John Allen had served as private...In one memorable debate, the general contrasted his own high rank with Allen's lowly military status. The erstwhile private's rebuttal made political history—and completely revised political tactics in the South.

"'Yessir,' he said. 'I admit I was only a private. In fact, I was just a picket who stood guard over the general when he slept. And now, all you fellows who were generals and had privates standing guard over you, you vote for General Tucker. All you boys who were privates and stood guard over the generals, you vote for Private John Allen.'

"For the next sixteen years, Private John Allen—he was never again called anything else—provided the House of Representatives with an ingredient it could use today. That ingredient was a saving humor. And he employed it not only to win debates or to soothe ruffled feelings but also—and more often—to eulogize with whimsical exaggeration the little town from which he came. In so doing, he became the first of the succession of Tupelo's indefatigable boosters and an example for all loyal Tupeloans to come." <sup>10</sup>

After a period of rivalry between towns, in 1887, the Memphis and Birmingham Railroad (later called the Frisco) joined the Mobile and Ohio track in Tupelo, providing expanded opportunities to link with other major centers and allowed Tupelo to rapidly develop. The town installed electric lights in 1890. As the economic depression of the 1890's came about, cotton prices dipped to a low five cents a pound. "Bitter farmers who faced financial ruin blamed town merchants in the area for their economic misery. Lee County became the center of the Populist movement as farmers banded together in a political unity designed to gain concessions from the townsmen. Economic boycotts were common and two local newspaper

editors were driven from town by angry farmers...The ruinous agricultural conditions compounded by the boycotts forced local merchants to seek alternative bases for the town's economy. By the end of the decade in 1899 Tupelo began the biggest industrial boom in its history prior to the 1950's." <sup>12</sup>

Between 1899 and 1904, Tupelo added nine new industries. Businessmen controlled the industrialization efforts to maintain the labor necessary to operate the local farms. As the town grew, more jobs were needed, which prompted a group of businessmen to contribute \$150,000 to open the first cotton mill in the area. Other industries that followed were: a mill, a fertilizer factory, a work shirt factory, a dress factory and a baby clothes factory. The area south of Main Street known as Mill Village was developed as housing for workers at the cotton mill. The density and scale of this district is a result of the need for a large number of single family homes in a small area near the mill. This area has always been separated from the rest of the town by the railroad. At the turn of the century, "Private John" Allen in his jovial manner to the House of Representatives said, "This Mr. Chairman, is a proposition to establish there (in Tupelo) a fish hatchery. Why, sir, a fish will travel over land for miles to get into the water we have at Tupelo. Thousands and millions of unborn fish are clamoring to this Congress today for an opportunity to be hatched at the Tupelo hatchery."<sup>14</sup> Tupelo got the hatchery and in 1901, Tupelo received national recognition for the first U.S. fish hatchery, which is believed to have been near Main Street.

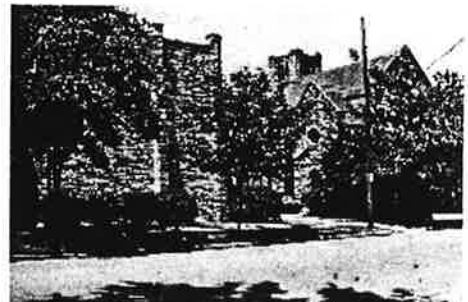
## Community Expands Beyond Its Original Settlement

"In 1914, Lee County had the distinction of having a stretch of forty-nine miles of paved highway which was the first concrete road South of the Mason-Dixon line."<sup>15</sup> It is believed that a portion of this road was located where Green Street currently is. It was the belief of this community that, "it has paid for itself 10 times over and has proved its worth time and again in furthering good roads work throughout North Mississippi...Good roads make good markets, and good markets lead to other things."<sup>16</sup> Along with the new roads, the community worked together to reclaim their bottom lands by issuing and subscribing to ditching bonds issued in Mississippi, and "the citizens cut expenses of digging the drainage canals by trundling wheelbarrows themselves."<sup>17</sup>

The effects of the boll weevil in 1916 and the change of the foreign market consumption of cotton, virtually destroyed the cotton industry and left town merchants with outstanding debts that could not be collected. Bankers worked with farmers to establish livestock programs that were to revolutionize the farm, bringing about diversification and balance. "And in that year little Tupelo first became a pilot town for a newer South, a bright signpost on the long road to diversification, industrial balance and self-help. The man who acted as the catalyst of that change was, by happy coincidence, the son-in-law of Private John. He was S.J. High, the president of the People's Bank and Trust Company, a bright-eyed, cheery man with enormous energy and the calm assurance that Tupelo is the best place in the world to live."<sup>18</sup> Jim High urged farmers to place less reliance on cotton and promote agriculture interest in livestock and dairying. Mr. High said, "...I woke up to the fact that betting everything on cotton was a big mistake. One night I worked out a slogan: 'The cow, the sow and the



The First United Methodist Church of Tupelo was built in 1899. It is the oldest brick building in Tupelo and is listed on the National Register of Historic Places. "The tornado of 1936 caused some damage to the church and the loss of the steeple, but renovations restored the building. Immediately following the tornado, the church building was used as a makeshift hospital, as were several other structures in the area." <sup>11</sup>



In 1899, the First Presbyterian Church was built. In 1936, the sanctuary was destroyed by the tornado and was rebuilt with Tishomingo stone. <sup>13</sup>

<sup>12</sup> Grisham, "Paper Towns & Promises?"

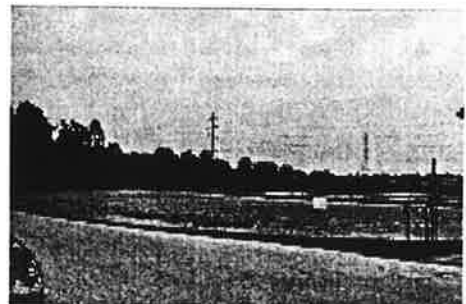
<sup>13</sup> "The History of Tupelo", Internet.

<sup>14</sup> Carter, *Saturday Evening Post*.

<sup>15</sup> "The History of Tupelo", Internet. (the fact of Lee county having the first concrete road in the south has never been clearly established according to Ms. Dept. of Archives & History)

<sup>16</sup> Thomas Fauntleroy, "Tupelo Sets Pace in Splendid County," 28 March 1920.

<sup>17</sup> Carter, *Saturday Evening Post*.



Fish Hatchery



Carnation Milk Company which is located on Carnation Road in Mill Village.



The YMCA building, built in 1912, became the location of the first hospital. It later was an education building for the First United Methodist Church. (photograph taken from Tupelo Daily Journal Centennial Issue)

<sup>20</sup> Carter, *Saturday Evening Post*.

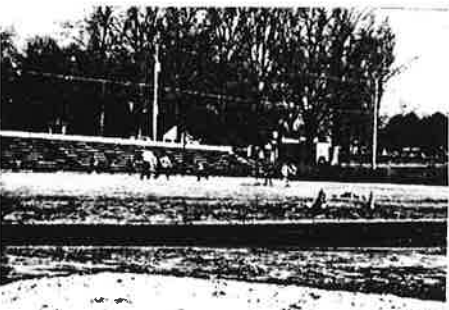
<sup>21</sup> "President Roosevelt's Visit to Tupelo," *Daily Tupelo Journal Centennial Issue 1870-1970*, vol 97, no. 102, p. 10-D. (author unknown)

<sup>22</sup> "The History of Tupelo," internet.

<sup>23</sup> Steve Riley, "In Tupelo, the people make a difference," *Clarion Ledger*, 15 Dec. 1976.

<sup>24</sup> "The History of Tupelo," internet.

<sup>25</sup> Harry Rutherford, "A City Without City Limits," *Mississippi Magic*, May 1957, p. 13-14.



City Park, which is now Robins-Noble Field.



A view of the destruction caused by the tornado of 1936. (photograph taken from *The Commercial Appeal*)

hen—a factory on every farm. I couldn't get it out of my head that dairying could save us, and I knew we could do something about it." <sup>19</sup> In 1927, Tupelo became a home to the Carnation Milk Company, the first in the South. It became the site of a processing plant as a result of this interest in dairying. Later, in the 1940's, the county produced a reputable Jersey cattle program by importing bred heifers from the Isle of Jersey. <sup>20</sup>

In 1920, according to *The Daily Journal*, the first community hospital was established in the YMCA building. In 1921, more than 2000 citizens each contributed at least one dollar, with the aid of the Commonwealth Fund, to build the North Mississippi Community Hospital. In 1933, Tupelo became the first U.S. city to purchase Tennessee Valley Authority power with Congressman John Rankin's assistance in co-authoring the bill. In celebration of this milestone purchase, on November 18, 1934, President F.D. Roosevelt visited Tupelo and gave a speech to 75,000 people at the City Park (now Robins-Noble Field). <sup>21</sup>

### 1936 Tornado Affects District

On April 5, 1936, a tornado struck a couple of subdivisions and the heart of Tupelo. "In 33 seconds, 201 people were killed and 1,000 injured. In half a minute, Tupelo received the most disastrous blow ever delivered to a Mississippi town up to that time. Within six months, however, Tupelo had built new homes, repaired the churches, and designed new schools."<sup>22</sup> In rebuilding, brick became the popular construction material. A statement was made about the tornado much later, in 1985, by Jack Reed, owner of a Tupelo department store, said that the tradition of community involvement was strengthened by the tornado, "The tragedy of the tornado was a cohesive factor...and there was no old money in Tupelo. It didn't have a planter society. Everybody had to hustle. And they did." <sup>23</sup>

### Important Values and Businesses Established with Community Development Foundation

The Rural Community Development Council (RCDC) was organized in 1946 by George McLean, the onetime college instructor, and then, publisher of the *Tupelo Daily Journal*. This organization not only carried out plans to improve the community of Tupelo but also other surrounding small communities and rural areas. "This program, which emphasizes community effort rather than individual effort, is used as a pattern throughout the U.S. and many foreign countries."<sup>24</sup> In 1948, the Community Development Foundation (CDF) was formed to expand the RCDC organization, becoming the economic development organization for the area and also serves as the Chamber of Commerce. "Being, at the time, a town of only 11,000 people, Tupelo recognized that its future lay not within its own municipal limits but among its 120,000 neighbors who lived within a radius of 25 miles."<sup>25</sup>

By 1957, Tupelo businessmen and industrialists had poured nearly \$400,000 into the CDF program working towards developing the skills of its rural residents. Between 1947 and 1957, 1,700 industrial jobs were added in the city and nearly every industrial plant within the town had

expanded its facilities. Rockwell Manufacturing Company, the makers of power tools, expanded their program and facilities at this time, with Col. Rockwell of Pittsburgh stating, "it would be impossible for any community to exceed the cordial and kindly co-operation extended to us."<sup>26</sup> Blue Bell, Inc., at the time the world's largest manufacturer of work clothes chose to establish their headquarters for the firm's operations in the area with a 200,000 square foot building.

The Daily Journal newspaper consistently promoted community involvement and brought forward issues that the CDF was undertaking. For example, in 1961, the board of aldermen, the planning commission, the local housing authority and the mayor recognized the need for "constant watchcare and early preventive measures to keep any section of our city from deterioration."<sup>27</sup> The Community Renewal Program was formed which was basically the making of a very thorough study of community needs, both long term and current. "But the really significant results of the study will come from the interest and the ideas developed by the Citizens Advisory Committee which works with our governing bodies in selecting and emphasizing the phases of community life which need improvement. For whenever a city's governing body can get the whole population interested in community improvement, the job of finding solutions to problems is rendered much easier."<sup>28</sup> In 1968, as a result of the outstanding progress made in development and in people care programs, Tupelo was awarded the "All American City" Award co-sponsored by Look magazine and the National Municipal League.

With growing racial tension in the 1970's, Tupelo citizens were forced to confront the issue when local organization efforts by the Ku Klux Klan, "an organization," that the CDF Chairman Jim High told an audience of 1,200 at an annual meeting, was "representing the worst possible form of racism and hatred....the Klan's presence in Tupelo is intolerable and must be discouraged and condemned by Tupelo citizens concerned with the well-being and best interests of all our people—black and white. The Community Development Foundation stands in absolute, unalterable opposition to the Ku Klux Klan and its presence in Tupelo." Chairman High continued to say, "We can, we must, we will solve this problem, the CDF asks your help, as the business (and) professional community, and every individual here tonight, in reaching this goal." The audience responded to the statement with a prolonged standing ovation.<sup>32</sup>

Outside of the Madison Historic District the city has greatly expanded in the past forty years. "From 1950 to 1980, the area's manufacturing employment increased 530 percent, compared to the state average of 150 percent."<sup>33</sup> Transportation systems were improved with a four-lane highway system running in the east-west and north-south directions, completed in 1983. A multi-million dollar improvement program provided Tupelo with a commercial airport capable of handling jet aircraft and providing a terminal building. Also, the Tennessee-Tombigbee Waterway was built eighteen miles east of Tupelo which provides a fresh water outlet to the Gulf of Mexico for added transportation opportunities.



Blue Bell Factory located on BlueBell Alley in Mill Village.

<sup>26</sup> Rutherford, Mississippi Magic.

<sup>27</sup> "Another Valuable 'First' For Our Community," Daily Journal, 91, No. 6 (April 1961).

<sup>28</sup> Daily Journal, "Another Valuable 'First' For Our Community".

<sup>29</sup> Norma Fields, "All-American City Hardly An Accident," Jackson Daily News, 3 April 1968.

<sup>30</sup> Thomas Fauntleroy, "Tupelo Sets Pace in Splendid County," 28 March 1920. (reference unknown)

<sup>31</sup> Sylvia Higginbotham, "Tupelo: This busy city offers sightseers more than Elvis Presley's birthplace," Clarion Ledger, 14 Sept. 1986.

<sup>32</sup> "CDF Chairman Speaks About Racial Unrest," Daily Journal, 5 May 1978.

<sup>33</sup> Riley, Clarion Ledger.

<sup>34</sup> Dwight Gentry, "Superblock Proves Commitment To Downtown," Daily Journal, 5 May 1973, P. 1.

1900: population of 2,118

1920: population of 8,000 <sup>30</sup>

1940: population of 8,212

1950: population of 11,527, 11 square miles

1960: population of 17,247

1968: estimated population of 24,000, 22 square miles

1986: estimated population of 24,000 <sup>31</sup>

[All information is from <sup>29</sup> except where noted otherwise]

In 1973, developers and the city discussed the development of a downtown mall (near the railroad tracks, see map), "redevelopment will come in the form of what planners label a 'superblock.'" It was intended that this 'superblock' would include a multi-story bank and a shopping mall improving the downtown area and requiring developers to share in the cost of the building and the structure would belong to an Urban Renewal project.<sup>34</sup>





The Create Foundation



Milam Junior Highschool

**35 Helene Cooper, "What 'The Wall Street Journal' is saying about Tupelo," Clarion Ledger, 13 March 1994.**

**36 Steve Riley, "In Tupelo, the people make a difference," Clarion Ledger, 15 Dec. 1976.**

**37 Sylvia Higginbotham, "Tupelo: This busy city offers sightseers more than Elvis Presley's birthplace," Clarion Ledger, 14 Sept. 1986.**

**38 Riley, Clarion Ledger.**

**39 "The History of Tupelo," Internet.**

**40 Cooper, Clarion Ledger.**

**41 Cooper, Clarion Ledger.**



The Tupelo Art Gallery is located on Main Street in the historic People's Bank Building that is listed in the National Register of Historic Places. It attracts visitors from out of town.



Lee County Library has extensive collections with its genealogy section drawing visitors from outside of Tupelo.

## Importance of Public Education

Tupelo is known in Mississippi for its high standards for public education and the community support towards maintaining those standards. "In the early 1960s, Lee County was the first county in Mississippi to integrate its schools. By doing so, it avoided the public-relations debacles that for years shadowed Little Rock, Oxford and other Southern cities that resisted the civil-rights movement."<sup>35</sup> In 1984, "Tupelo High School was one of two state public schools on the U.S. Department of Education's list of the top 142 schools...Tupelo students average 19.24 on the American College Test, compared to a national average of 18.6 and a state average of 15.5."<sup>36</sup> "In May of 1985, the Tupelo School District was cited by the Education Commission of the States as one of the five national models for performance-based schools."<sup>37</sup> Local industries and companies are requiring more educated employees and because of that are helping to support the local schools in substantial ways. For example, during the 1970's, George McLean, owner of the Northeast Mississippi Daily Journal, established CREATE Inc., a non-profit organization through which he gave \$1 million to pay for reading aides in county schools. "The organization now plows \$500,000 a year from the newspaper's profits back into education, health care and leadership programs."<sup>38</sup>

In 1983, Lewis Whitfield, president of First Citizens National Bank, organized the Association for Excellence in Education, a private committee that in two years has contributed nearly \$200,000 into city schools. In 1991, L.D. Hancock, founder of Hancock Fabrics, donated \$3.5 million to Tupelo schools, which was "one of the largest gifts to public schools from an individual in the state's history."<sup>39</sup> "And two years later, a \$17 million bond issue for a new high school passed with 89 percent voter approval."<sup>40</sup> In the April, 1996 issue of Redbook recognized Tupelo High School as one of the top 65 high schools in the country, recognized for both its academic achievements as well as its outstanding extracurricular programs. "Tupelo's heavy investment in worker training has been a major factor in bringing the black community within the gambit of the town's economic success. Throughout the South, cheap labor is a big investment draw. But cheap labor often is poorly educated labor, meaning that many communities can draw only low-wage, low-skill industries....Here, vocational training forms a big part of college curricula, which are heavily weighted toward topics like advanced machining processes, computer aided drafting and furniture design."<sup>41</sup>

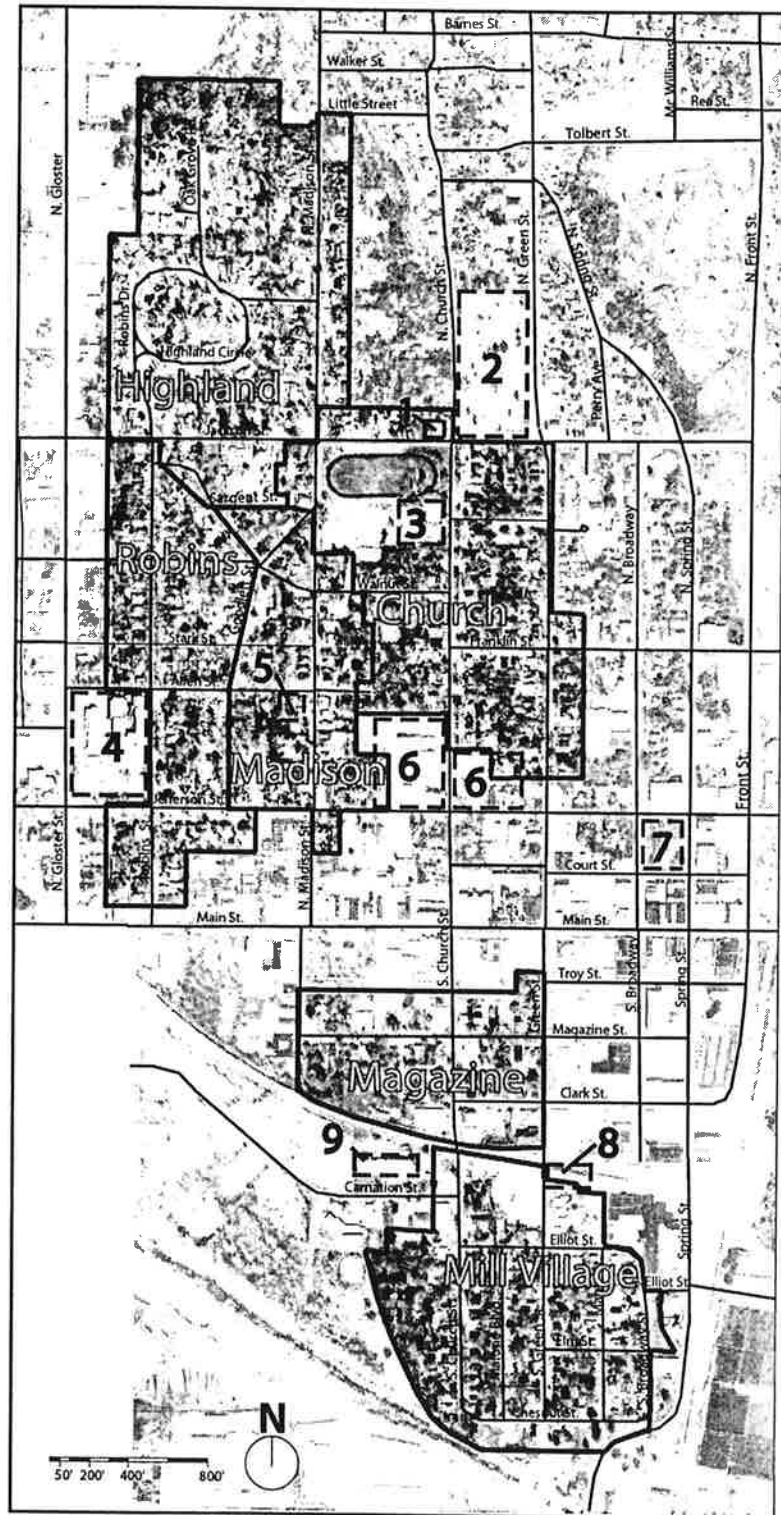
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# LANDMARKS LEGEND

- 1—White House
- 2—Glenwood Cemetery
- 3—Church Street School
- 4—Milam Junior Highschool
- 5—McCarty House
- 6—First Baptist and First Presbyterian Churches
- 7—Lee County Courthouse
- 8—Blue Bell Factory
- 9—Carnation Milk Company



# Landmarks

## *Landmarks*

The Historic District of Tupelo has many distinct landmark buildings as a result of its history and the recent interest in renewing life of some of the buildings that had been deteriorating. Landmarks are critical to a place as they reflect the historical, political, and social attitudes of its culture.

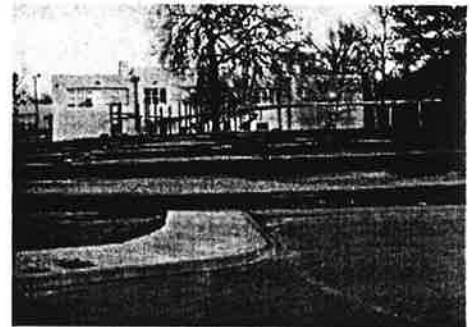
### *The White House*

This house serves as a distinct landmark as it is unique to its neighbors. It has modern-style detailing, a flat roof and an expressive and exposed porch. We have found that in giving directions to others this house is useful in orientating one. Other contributing factors are that it is on a corner site, across from the Glenwood Cemetery and Robins-Noble Field. Jackson Street is also an important and busy street that makes this house very visible to all of Tupelo.



### *Church Street School*

This school was designed by the well-known architectural firm, Overstreet and Town, whose work was recognized internationally. This school is one of the best examples of the Modern style of architecture in Mississippi. As was typical of this firm's school designs in the late 1930's, the building has a utilitarian rear elevation, which faces Robins-Noble Field, and an expressive front facade. This building, which replaced an earlier school destroyed by the 1936 tornado, has great presence on the block with its size, concrete material and unique detailing. Not only does this building serve as a visual landmark, but also as a building that serves its community with K-6 primary education and community meetings.



### *Glenwood Cemetery*

This historic cemetery is large in size and located in a prominent position along well-traveled Jackson and Church streets. It is also opposite the Robins-Noble Field park which increases its presence with the shared open landscape. Not only does the physical nature of this open ground transform the surrounding area, the cemetery also has an enormous presence among the citizens of Tupelo as the final resting place of many cherished relatives and friends. As it is located, it provides an important "edge" to the district, however, as it is surrounded by a chain-link fence, it seems to be a divider separating the residential neighborhoods on the west and the east sides of it.





### *Milam Junior High School*

The school is located between Robins and Gloster streets. It lies along Robins Street with a close series of bungalow style houses to the north of it and larger residential and commercial buildings to the south. Gloster Street runs west of it with a great deal of traffic and commercial activity. This building serves as an important element along this edge of the historic district. The building with its new addition, is substantive in size and shelters an outdoor area and parking lot. This building also serves as a visual and spatial landmark while also providing meeting space for the community and a good facility for educating junior high students.



### *The McCarty House*

This older, small house has recently been renovated by Community Enterprises, Inc. and will serve as an example to other property owners to invest and redevelop their properties. Currently, it is very visible as it is located along a well-traveled street, Madison Street, and is the first house to be completely renovated in the neighborhood by this organization. By its location, being central to the district area, it provides a unique landmark condition.



### *First Baptist and First Presbyterian Churches*

The two churches, together on either side of Church Street, spatially serve as a gateway into the north part of this district. Both churches have an important presence along heavily-traveled Jefferson Street given their size, materials and detailing. Both were built at the turn-of-the-century and suffered some damage from the 1936 tornado, but with renovations the buildings were restored and have grown over time. Both churches are heavily attended from citizens all over the city, making the presence of these landmark buildings significant for their support of community gathering as well as physical markers.

### *The Courthouse*

Undoubtedly, this landmark achieves recognition as an important landmark given its role as the county seat, its age and its physical presence. Factors which contribute to its physical presence are its size, materials, and detailing, and its relationship to the city with the landscaped square and the ordering of the streets. The location of this building is set back one block from Main Street, immersed in the fabric of the downtown buildings, making it more of a discovered building than a building that commands its presence along the Main Street as found in most towns. This building provides an important "edge" to the historic district.



### *Blue Bell Factory*

This long industrial building from the 1950's was built in an important era of the city with 1,700 industrial jobs created in the period. To support such a large production this building was constructed with its long elevations along the railroad. The building provides a spatial and visual edge to the downtown area separating Mill Village from the rest of the district. This building holds great possibilities of a future life with its distinct character and location.



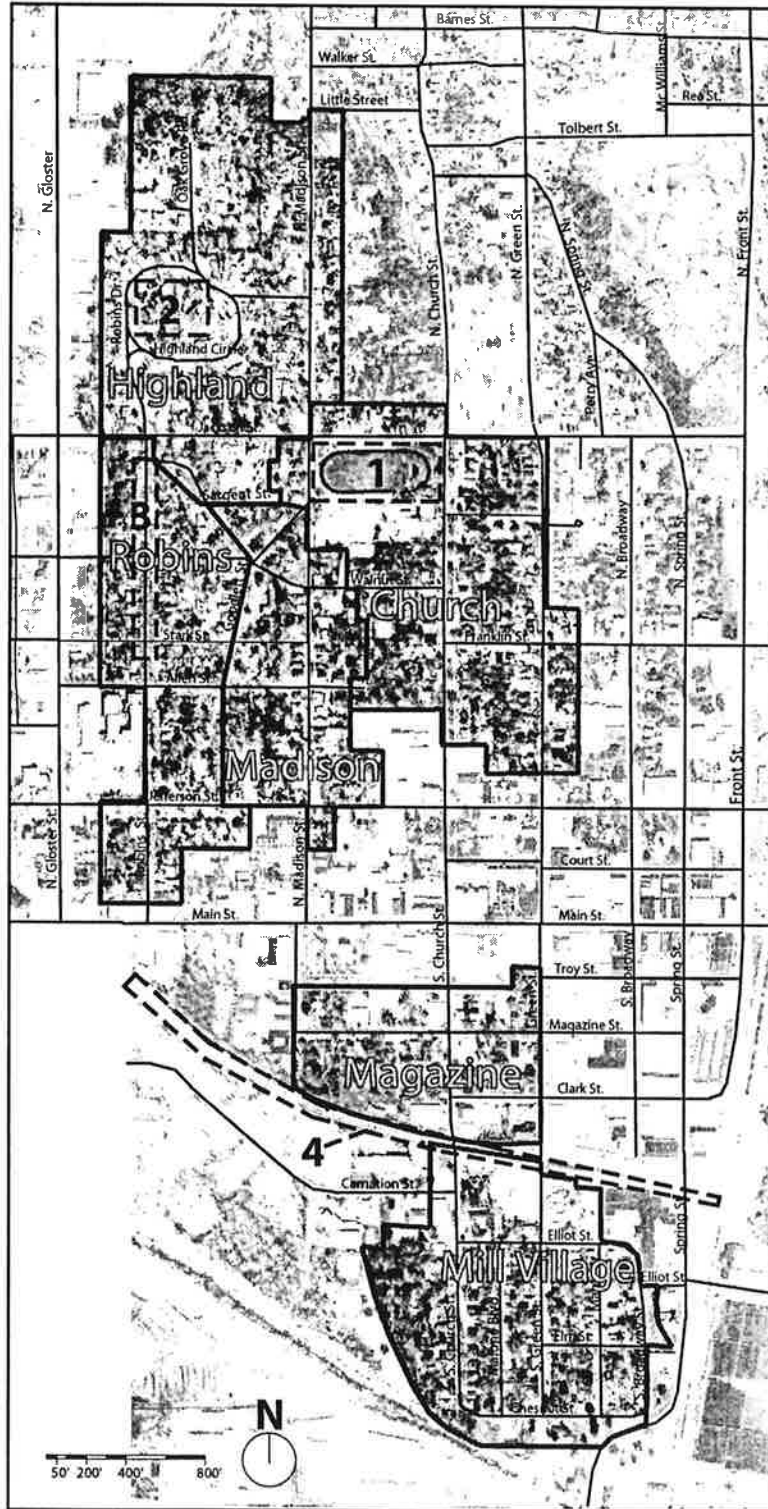
### *Carnation Building*

This building with its smokestack has an important presence with its large size and building type which is separate from its neighboring houses. With its presence it provides a sense of boundary to the west side of the Mill Village residential area. This building is a product of important changes in the history of Tupelo's agricultural interests. In the 1920's farmers were urged to place less reliance on cotton and promote agriculture interest in livestock and dairying; Tupelo became a home to the Carnation Milk Company, the first in the South.



# LANDSCAPE LEGEND

- 1—Robins-Noble Field
- 2—Highland Hill
- 3—Robins Street
- 4—Frisco (Memphis & Birmingham Railroad)



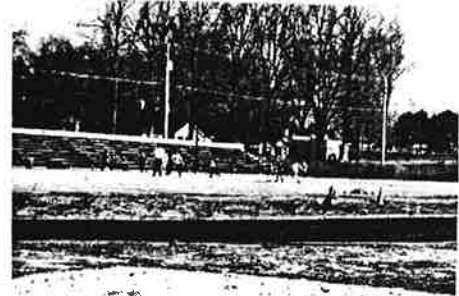
# Landscape

## *Landscape*

The landscape with its landforms, waterways and vegetation shapes the character of the district as much as the landmark buildings and roadways. In some places the landmarks highlight the landscape features and vice versa; in other places, the landscape is second to the built environment or even missed as an opportunity to add to the character of the place.

## *Robins-Noble Field Park*

This newly renovated park has had an enormous impact upon the neighborhood with its new improvements. By eliminating some of the vegetation that had surrounded its edge, increasing its visibility and thus safety, the park is now used throughout the day and evenings. Also, with the improved landscaping, improved track and planned public events, the park is serving the community successfully. The park also holds historical importance with the visit from President Roosevelt in 1934, when he spoke about his presidential campaign. Robins-Noble Field Park may be one of the greatest positive contributing factors towards a promising future in the district.



## *Highland Hill*

The land rises fairly significantly in this part of the district. Highland Circle is a street which remains fairly level circumscribing the top of this hill. The yards in front of the houses slope significantly also accentuating the presence of the hill. This land feature and how it affects the manner in which streets and houses are developed plays an important and unique role relative to the remaining district.



## *Robins Street*

The large trees which line this street are very distinct in this district. The height, spacing, shade, and canopies of these trees are very present and serve to orient visitors in the area. The residents who had the foresight to plant these trees many years ago are commendable. This landscape feature should serve as a model to other areas of the district.



## *Railroad Tracks*

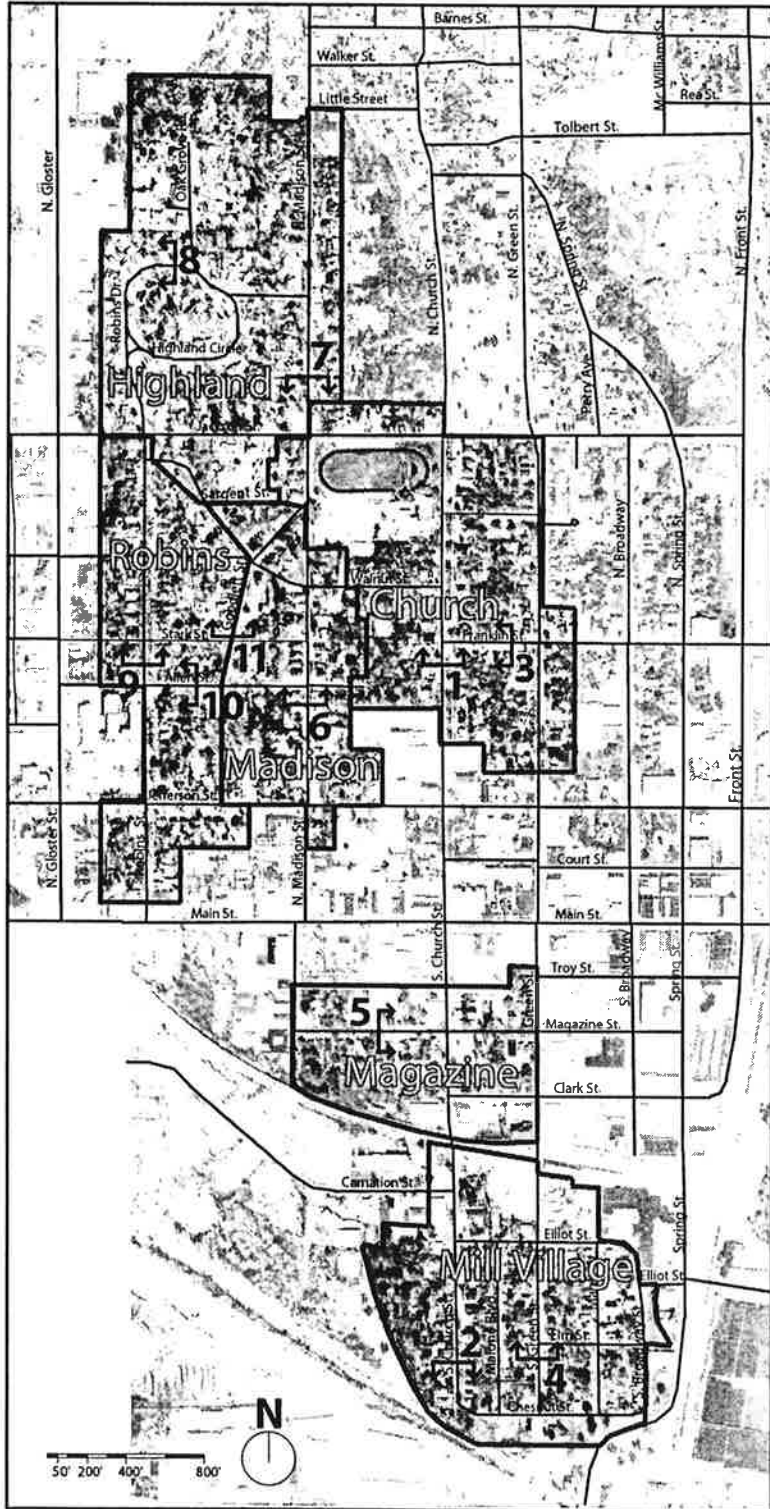
The infrastructure which was a major impetus of this community was laid in 1859 in an area where nothing but Cyprus and tupelo gum trees could survive. Of course, at its time the railroad was well-used and a major draw of activity in the town. It had a large impact upon how the downtown area and surrounding industry and residential districts were developed. Today, it mostly remains inactive with only an occasional train running along its tracks, but still holds an important presence in the district separating the Mill Village residents from the rest of the district.





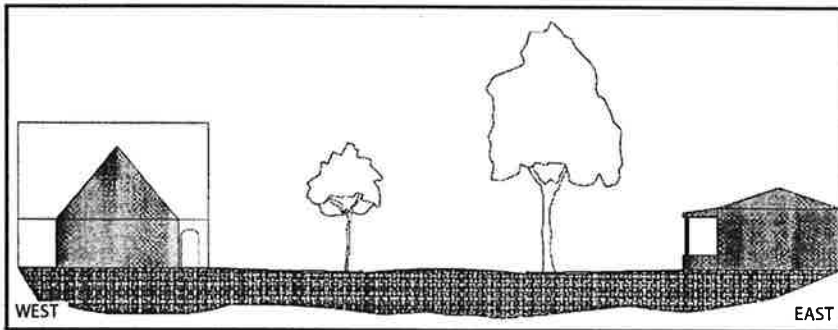
# SECTION LEGEND

- 1--North Church Street
- 2--South Church Street
- 3--Franklin Street
- 4--Green Street
- 5--Magazine Street
- 6--South Madison Street
- 7--North Madison Street
- 8--Highland Circle
- 9--Robins Street
- 10--Allen Street
- 11--Goodlett Street

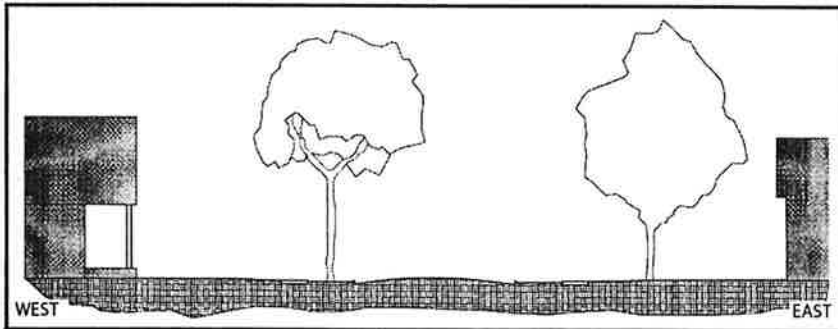


# Streetscape Divisions and Sections

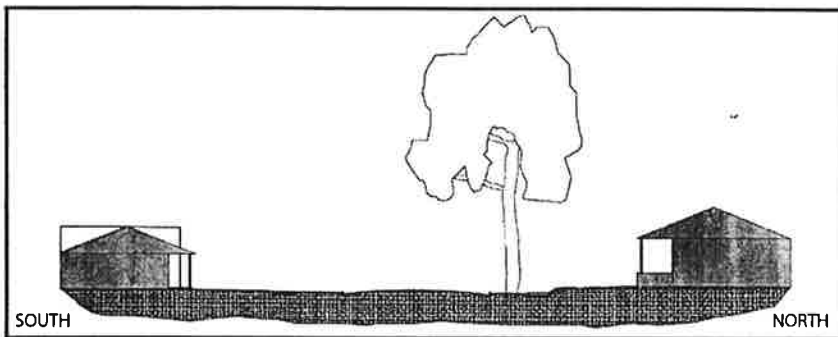
Street sections through various streets in the district were studied to obtain the sense of enclosure and scale within the district. This information helped us to compare and contrast the streets throughout the district according to the placement of houses on lots, landscape along the streets, and the variety of height and scale among the houses.



Section 1, North Church Street



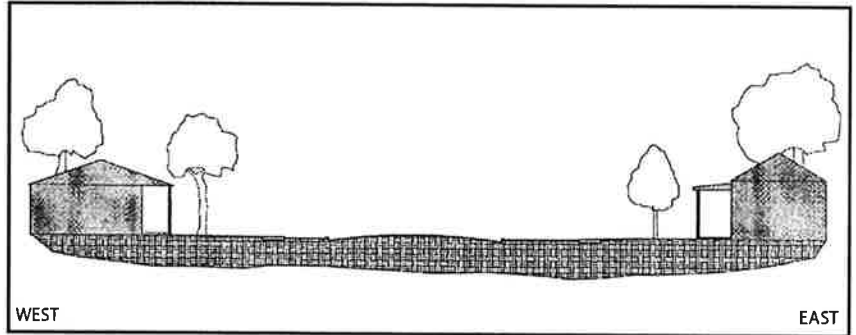
Section 2, South Church Street



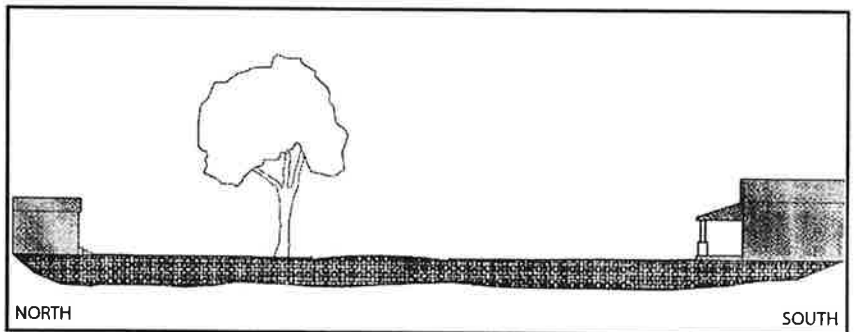
Section 3, Franklin Street



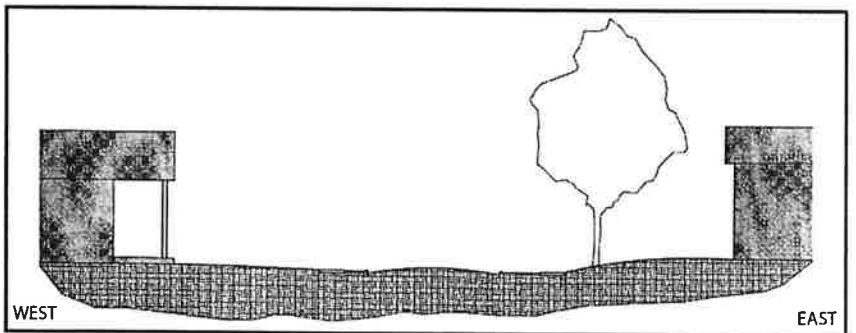




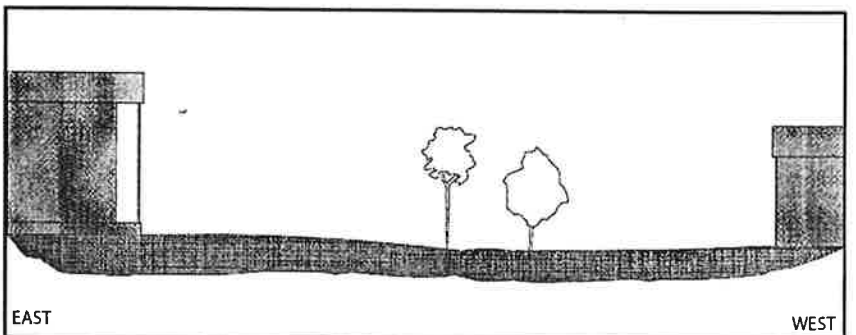
Section 4, Green Street



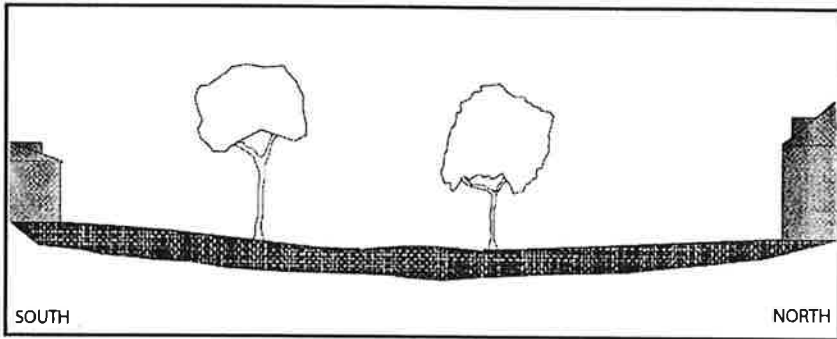
Section 5, Magazine Street



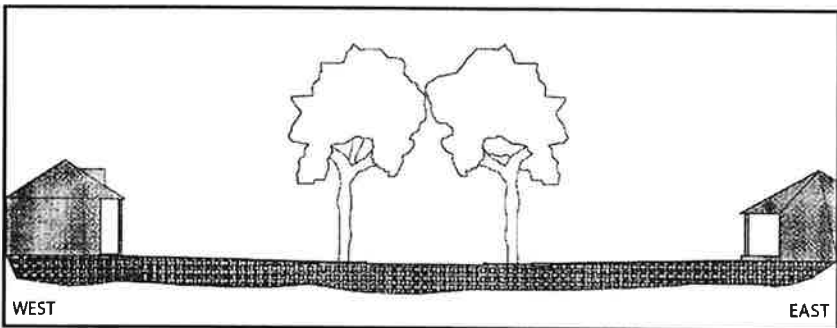
Section 6, South Madison Street



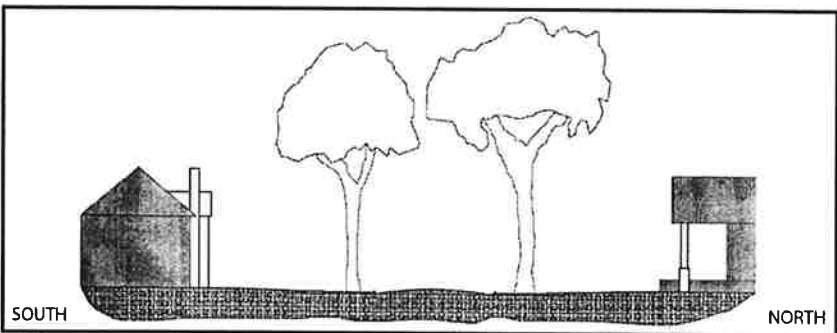
Section 7, North Madison Street



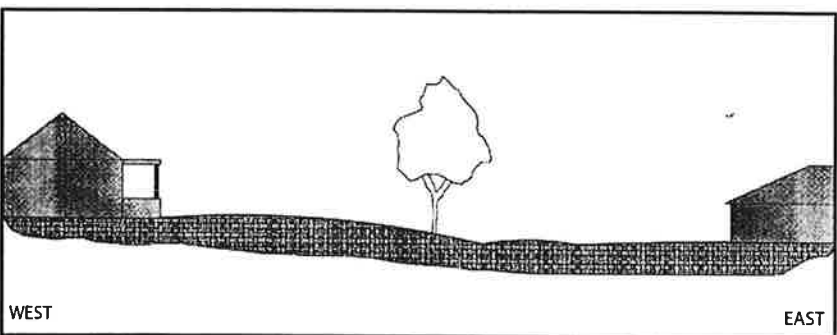
Section 8, Highland Circle



Section 9, Robins Street

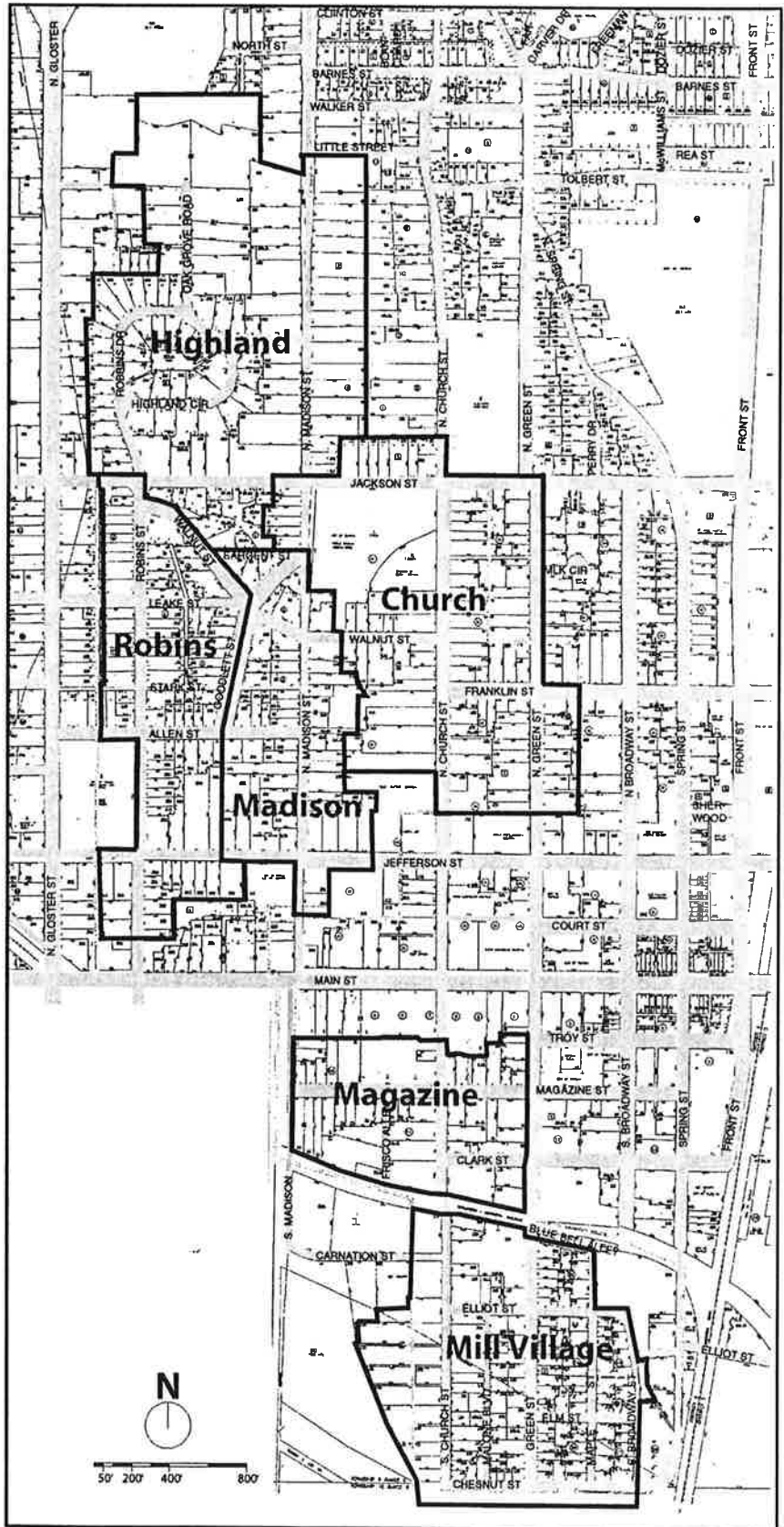


Section 10, Allen Street



Section 11, Goodlett Street





# Districts and Boundaries

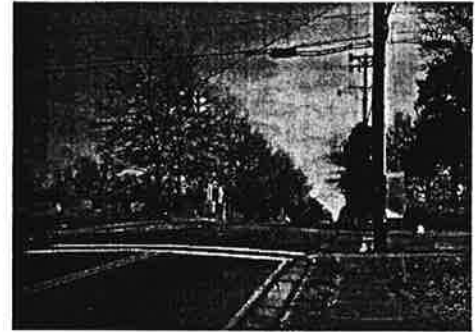
Districts are areas of a city which contain elements that are visually similar. The visual elements are landmarks, the natural landscape, streets, types of buildings and the density of buildings. When districts meet, these visual elements mark the change from one district to another and form a boundary.

Boundaries or the lack of boundaries become important to consider in establishing design guidelines because the boundaries define an area where certain visual characteristics are consistent. The boundary can separate or connect districts, sometimes causing a city to feel fragmented but at other times making an important distinction between one area and another. A visually clear boundary around an area can help to unify that area by making the area easily recognizable as its own place. The division of the neighborhood in districts is not to imply that the neighborhood is fragmented or socially divided. Instead, it becomes a way to find the seams between visually distinct areas and determine whether they need repair.

At a neighborhood meeting, residents of the Downtown Neighborhood were asked to draw their own maps of districts and boundaries. At first, the neighbors drew unconnected areas based on where their friends and family live. However, once the neighborhood residents began to think of the physical landmarks and relate them to their own social landmarks, their drawings began to look like the boundary map shown. Neighborhood residents also began to offer explanations of why parts of the district developed certain characteristics. Residents also brought out ideas of what should be developed in each district for the future.

The boundaries between these districts all play different roles. Some boundaries between districts are strongly conditioned by landmarks. The houses to the north and west of Robins-Noble Field are more part of the Church District because they face Robins-Noble Field. Likewise, the railroad track north of Mill Village divides the district from the neighborhood but also creates a visual gateway into the district, strengthening its identity. Landmarks are important to preserve because they are symbolic of an entire area. When these landmarks are destroyed, the character of the area is also changed fundamentally.

Some boundaries are very loosely defined, such as the east edge of the Church District. The boundary on the east is determined more by a gradual change from residential to commercial building types and older to newer homes. The indefinite nature of this boundary indicates that the visual character of the district at the boundary is in a gradual process of change. Without change, districts do not continue to meet the needs and aspirations of their residents and begin to decline. However, neighborhood



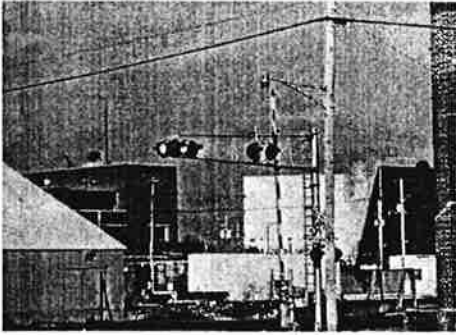
The wide open space of the cemetery provides a separation between the North Church Street neighborhood and its surroundings.



Sargent Drive with its fence is clearly a boundary between the Highland Park neighborhood and the Madison Street neighborhood.



Chestnut Street and Spring Street act as boundaries for Mill Village because of the large space on one side of the street. The lack of buildings and long view create a separation between this neighborhood and its surroundings.



The railroad tracks on the north edge of the Mill Village district literally create a doorway into the district. The difference in scale of the Blue Bell Building and the industrial buildings around the tracks to the houses nearby along with the tracks and gates make this place memorable on Green Street.



The alley between Gloster Street and Robins Street functions as an access road to the rear of the commercial buildings on Gloster Street and clearly defines the western edge of the residential neighborhood oriented around Robins Street.



The alley parallel to Gloster Street continues north to define the west border of the Highland Park neighborhood.

residents need to be aware of changes and discuss how their neighborhood should develop in the future.

Other boundaries create an opportunity for two districts to meet one another but keep their individual identities. Goodlett Street now acts as a separation between the Madison and Robins districts. Fences or walls are not the only ways to make a boundary; a large empty space will act as a boundary between two areas as well. On Goodlett Street, the wide distance across the street between buildings and trees creates a boundary line down the street. Goodlett Street could bring together both these districts by placing future buildings on the east side of the street closer to the curb or planting street trees that would enclose the space of the street. Goodlett Street will then act more like a seam between the two districts than a barrier.

The most prominent boundary in the neighborhood is Main Street, dividing the Magazine and Mill Village districts to the south from the districts to the north. An important long-term initiative should be to strengthen the visual and pedestrian continuity of Church and Green Streets to tie the north and south districts together. Developing empty lots and discouraging large setbacks for parking vehicles especially between Jefferson Street and the railroad line will help to make this connection. New buildings should be encouraged to face the street with parking behind buildings. Continuous sidewalks, street trees, lighting and crosswalks will encourage buildings on these streets to become more focused on pedestrians.

As discussed above, the districts are not meant to be unchanging divisions, but a plan of how to take advantage of the specific visual assets of the neighborhood and enhance them for the future. Boundaries can be looked at as places where there is an opportunity to link areas but not to separate them. In other cases, a strong separation between areas is appropriate and enhances the character of a district. The neighborhood must continually re-evaluate these goals and chart its direction for the future.



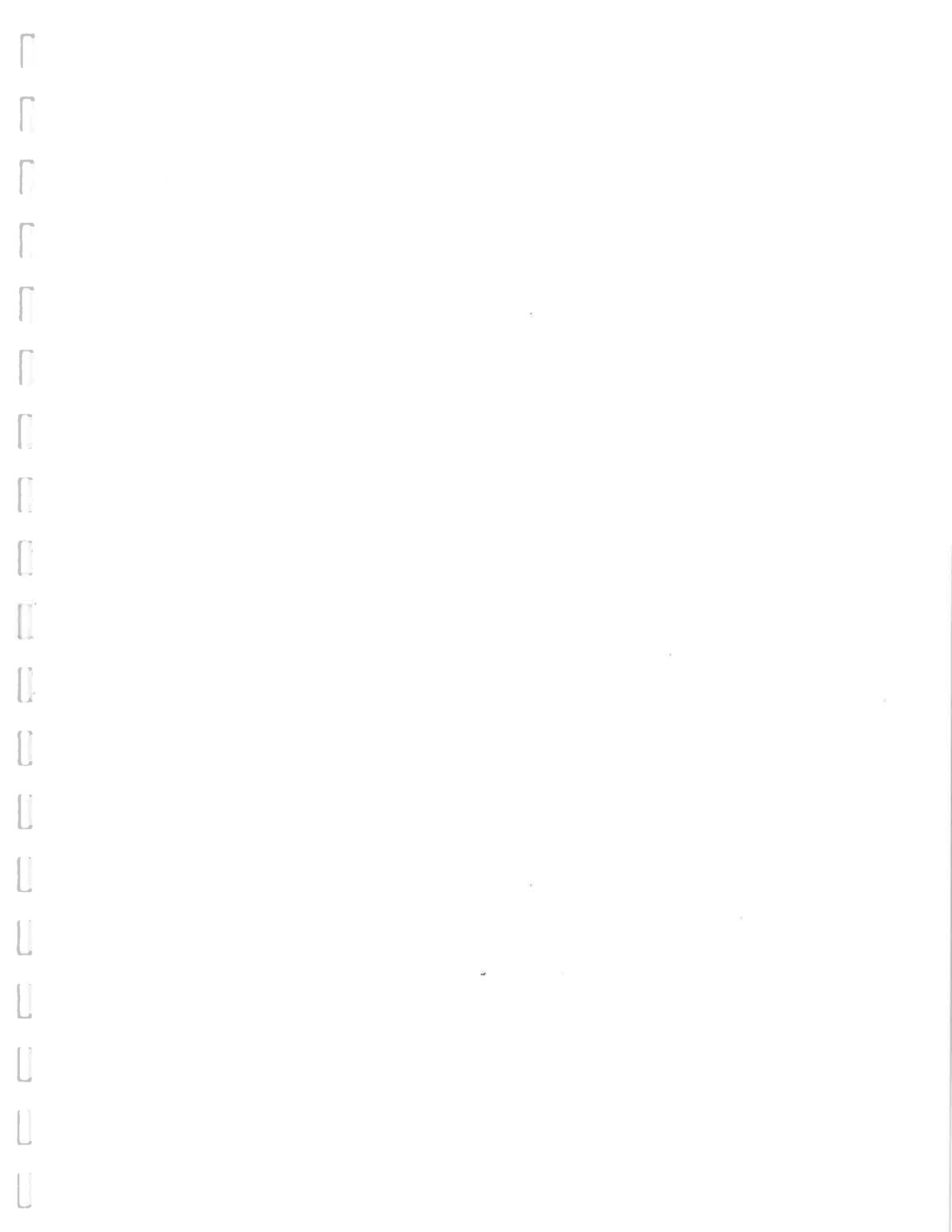
Main Street, because of its width and mixture of residential and commercial use, becomes the center of an area which cannot be characterized as a neighborhood. However, this area performs an important function by connecting the neighborhood to the city as a whole. The area connects the neighborhood to the old downtown as well as to the "town square" and courthouse.



The northern boundary of the Main Street area changes from being set directly on Jefferson Street to then stepping back from Jefferson. This change results from the range of building types along Jefferson Street. Some sections of the street are residential while others have more commercial or public buildings.



Each side of Goodlett Street seems to possess a different character. Landscaping and building types differ from one side of the road to the other. Therefore, the street itself becomes the boundary between the Goodlett Street neighborhood and the Madison Street neighborhood.



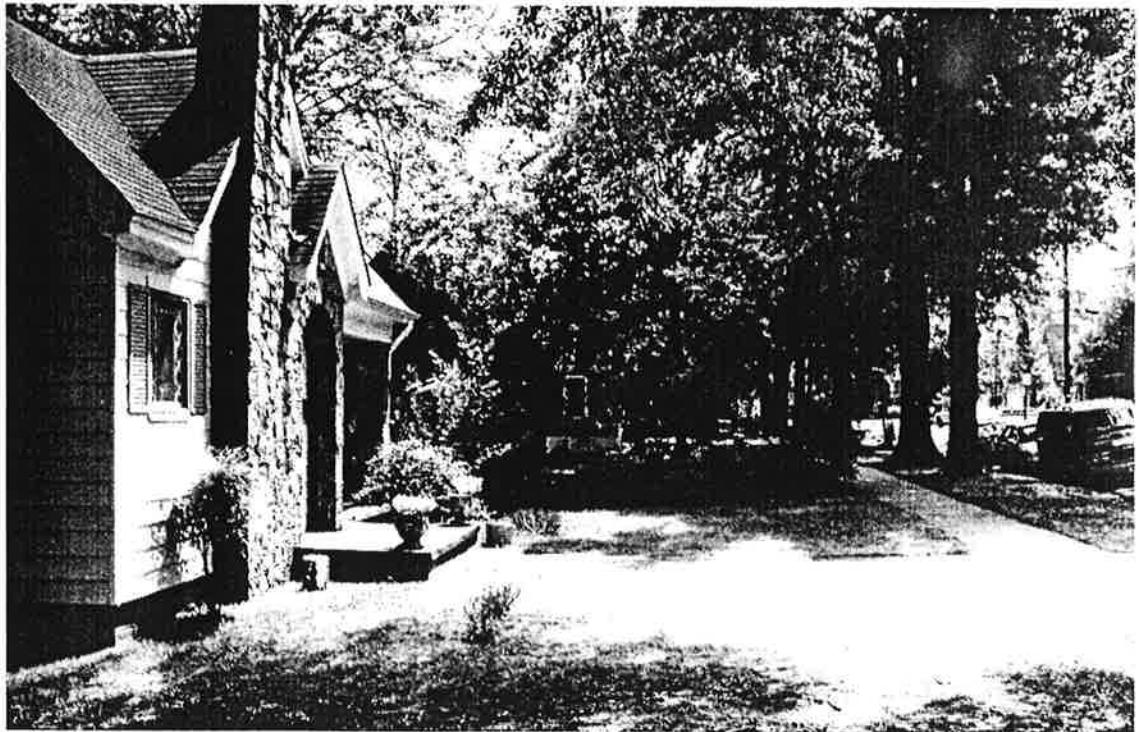


# Church District

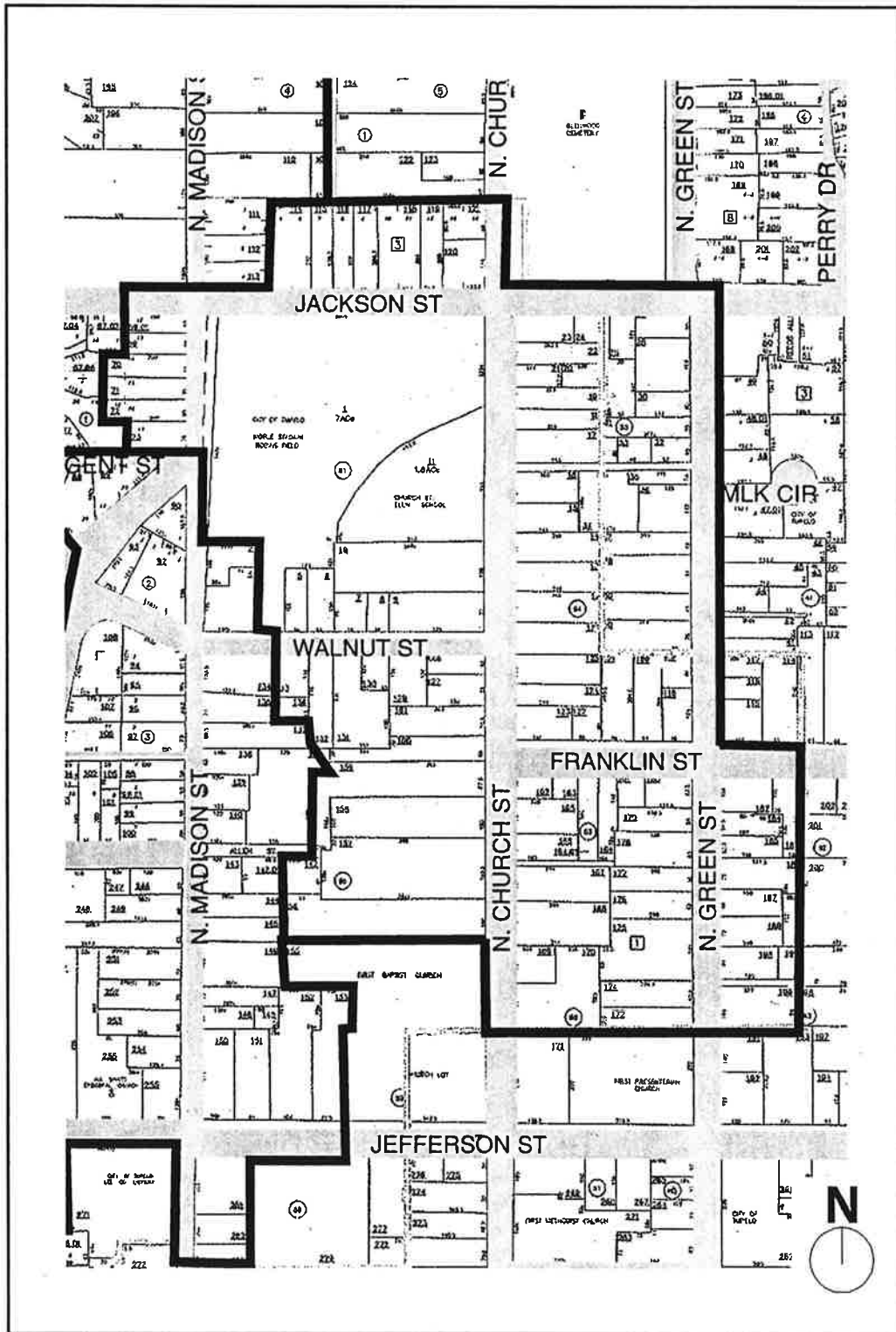
The Church District is roughly bounded by Jackson Street on the north, Main Street on the south, Green Street on the east, and Madison Street on the west. Important landmarks for the entire area are in this district including Church Street School and Robins-Noble Field.

The district is characterized by wide streets with large homes. Front setbacks are generous and streets are lined with trees, but not consistently. The house types vary considerably in the Church District.

An important initiative for this district is to re-establish a pedestrian link to South Church Street. The guidelines encourage trees in the right-of-way area between the curb and the sidewalk as a visual link on Church Street.

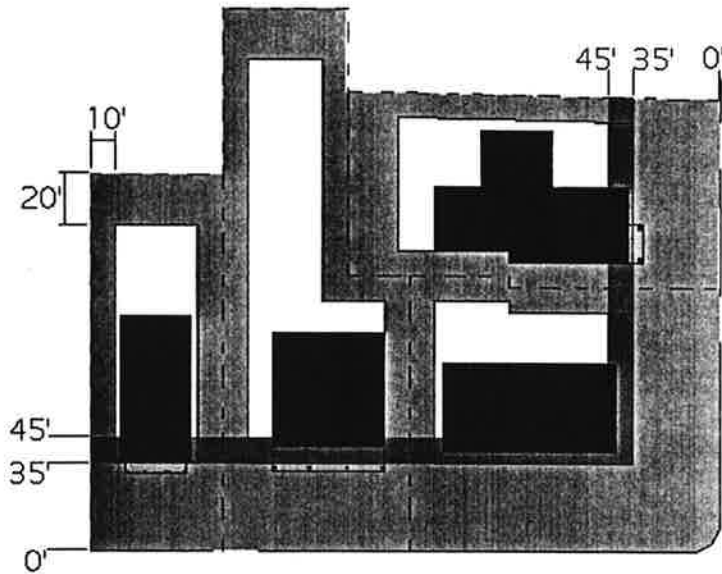






**Boundaries of the Church district.**  
 Map Source: Lee County Assessment Map, 1991.

# Church District



## 1) Setbacks/Lot Width/Coverage

### Setbacks

- 1a) Minimum setback from the curb to the street is 35 feet.
- 1b) Add 30 points for setbacks between 35 and 45 feet.
- 1c) Setback from the side property line is 10 feet.
- 1d) Setback from the rear property line is 20 feet.

### Building Width

- 1e) No minimum building width.

### Coverage

- 1f) Maximum building coverage including accessory buildings shall be 35% of the lot.
- 1g) Add 15 points for coverages between 15% and 25%.

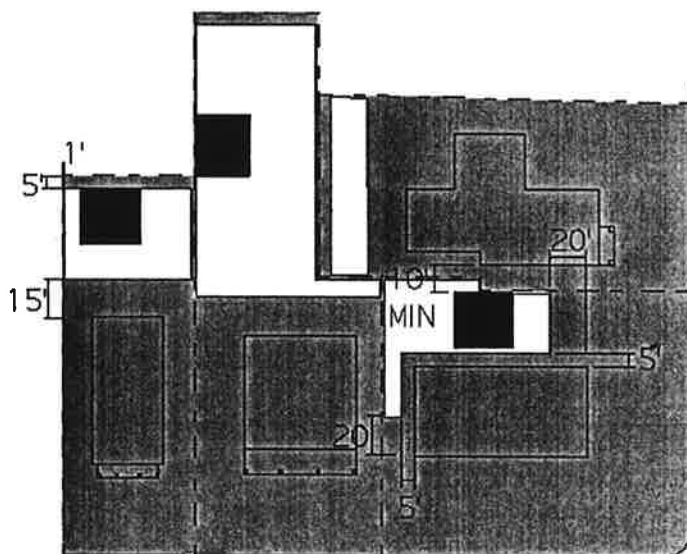
## 2) Accessory Buildings

### Placement

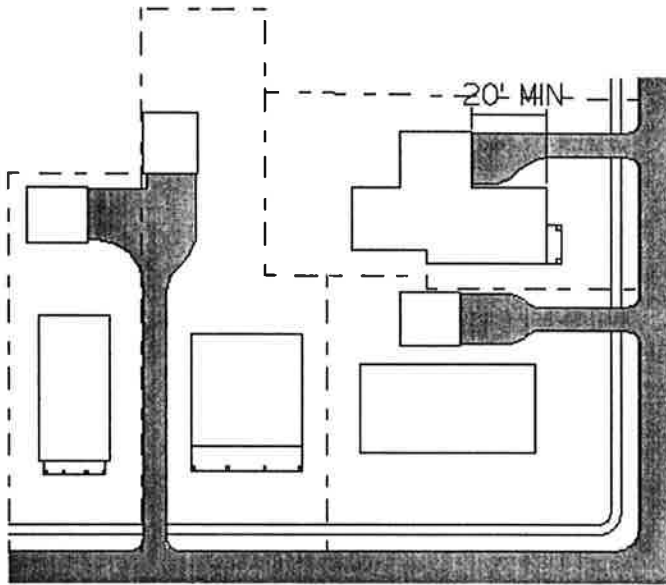
- 2a) Accessory buildings shall be located to the rear of the primary building.
- 2b) Accessory buildings shall be placed a minimum of 1 foot from the side property line and 5 feet from the rear property line.
- 2c) All accessory buildings must be placed 10 feet from any other structure.
- 2d) If an accessory building is placed within 15 feet of the principal building it must conform to the yard requirements of the principal building.
- 2e) On corner lots the accessory building must be at least 5 feet from the primary building, 20 feet behind the face of the building, and 1 foot from the side property line.

### Size

- 2f) The maximum size for a carport or garage is 500 square feet.
- 2g) Add 20 points for a living space above a carport or garage.



### 3) Parking/Driveways



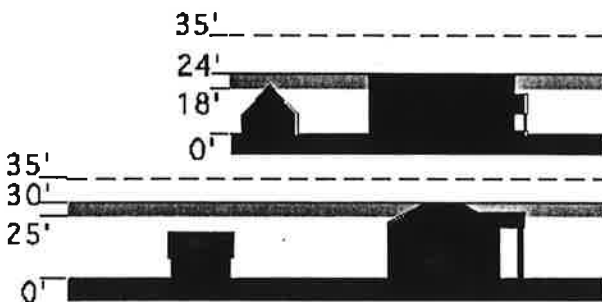
#### Parking

3a) May occur on the street and in the rear or to the side of the house. Parking in the front yard is not allowed.

#### Driveways

- 3b) Only one driveway is allowed for each house.
- 3c) Add 15 points if two adjacent houses share a driveway.
- 3d) Driveways may only be located to the side or rear of the house.
- 3e) No circular drives are allowed.
- 3g) Driveways may not exceed 10 feet in width until they are beyond the face of the building.
- 3h) Attached carports or garages must be 20 feet back from the face of the building.

### 4) Building Heights



#### 1 story

- 4a) 35 foot maximum height.
- 4b) Add 15 points for heights between 18 and 24 feet.

#### 1 1/2 story

- 4c) 35 foot maximum height.
- 4d) Add 15 points for heights between 18 and 24 feet.

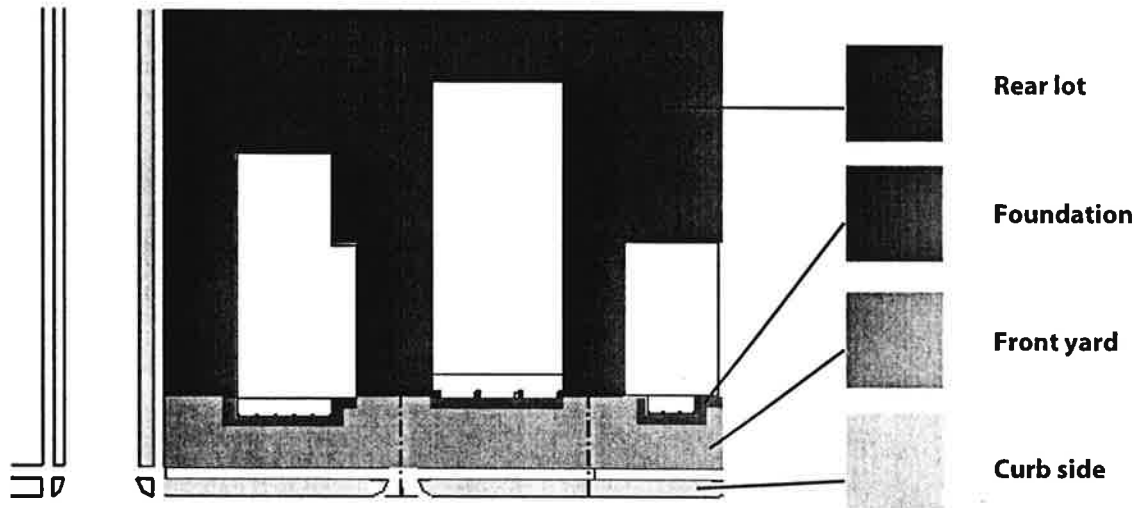
#### 2 story

- 4d) 35 foot maximum height.
- 4e) Add 15 points for heights between 25 and 30 feet.



## 5) Landscaping

Well maintained, appropriate landscaping contributes greatly to the character of a street or neighborhood. Landscaping includes grass, shrubbery, flowers, ground covers, and other natural elements. These guidelines divide lots into zones where different kinds of plant material are suggested.



### Rear Lot

No specific suggestions for density, species, or height.

### Foundation

This zone is about a six foot deep area on the front edge of the house. Shrubs and flower beds are encouraged here, but should not be so dense and tall that they cover most of the front of the house. Azaleas, boxwoods, camellia, jasmine, holly, and daylillies are some suggestions for this part of the yard. Small flowering trees, such as crape myrtles or birches are also appropriate.

### Front Yard

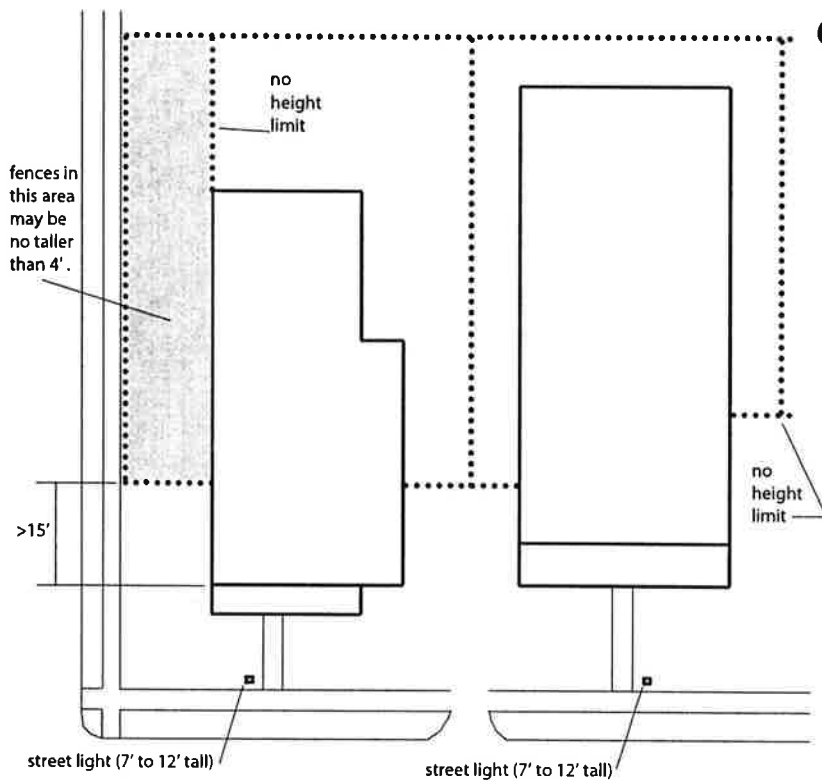
The front yard should be planted mostly with grass, but small amounts of low ground covers and shrubs are also appropriate. Planting trees in the front yard is strongly encouraged. Tall, deciduous shade trees such as oaks, maples, and ash trees as well as smaller, flowering trees such as dogwoods and crape myrtles are appropriate. Trees should be planted so that root growth does not damage the sidewalk. If magnolia trees are planted, they should be placed toward a side property line, so that they do not block much of the house. Small shrubs and ground covers such as azaleas, monkey grass, and boxwoods are recommended at the side property lines, but not along the sidewalk or curb.

- 5a) No tree of a 8" or larger caliper shall be removed from the front yard without approval from the planning department.
- 5b) Add 15 points for planting at least two trees in the front yard, or if at least two trees already exist.

### Curb Side

Large shade trees as well as smaller, flowering trees are encouraged in this area. Shrubs or ground covers are not recommended on Church Street and Green Street. Flowers and small ground covers, such as monkey grass, are encouraged in this area on Walnut and Franklin Streets.

- 5c) No tree of a 8" or larger caliper shall be removed without approval from the planning department.



## 6) Site Details

### Fences

- 6a) Fences may be placed in side lots at least 15 feet from the front of the house.
- 6b) Fences in the side lot area of corner lots must be no taller than 4 feet.
- 6c) No fences are allowed in the front lot.
- 6d) Add 5 points for painted, wood fencing.

### Walks

- 6e) Add 5 points for a paved walk, no more than 6 feet wide, from the entry to the sidewalk.

### Mail Slot / Box

- 6f) Provide a mail slot/box on the front of the house.

### Lighting

- 6g) If pedestrian scaled street lighting does not exist, add 5 points for a light (7 feet to 12 feet in height) located at the sidewalk.
- 6h) Add 5 points for a porch light.

## 7) Architectural Elements

### Type

Refer to the *Types* section for more information.

Appropriate types for the Church District are:

1a, 1b, 1c, 1d, 1e, 1g, 2b, 2c, 2d, 3a, 3b, 3c, 3d, 5, 8, 9

If a house does not fit a type, renovations or additions may be made so that the house then fits a type appropriate to the district.

- 7a) Add 35 points if a new building uses a type appropriate to the district.

### Front Porches

Original porch materials should be maintained. If the existing porch materials must be replaced, materials similar in size, texture, and color should be used. Porches enclosed with screen or glass are discouraged.

- 7b) If a new building does not use one of the appropriate types, add 20 points for a front porch with a width that comprises at least 40% of the front, and a depth of 4 feet to 16 feet.

### Roofs

New roofs should have the same pitch and form as the original roof. New roof materials should look like the original roofing materials.

Additions should have similar or related roof forms and materials.

Dormers should not be added to the front of the house, unless the house then fits a type appropriate to its district.

- 7c) No roof pitch shall exceed 12:12.

### Windows

Refer to the *Types* section for examples of appropriate window placement, size, and divisions. New windows should be similar to original windows in muntin sizes, color, and spacing.

- 7d) Add 5 points for painted, wood windows.

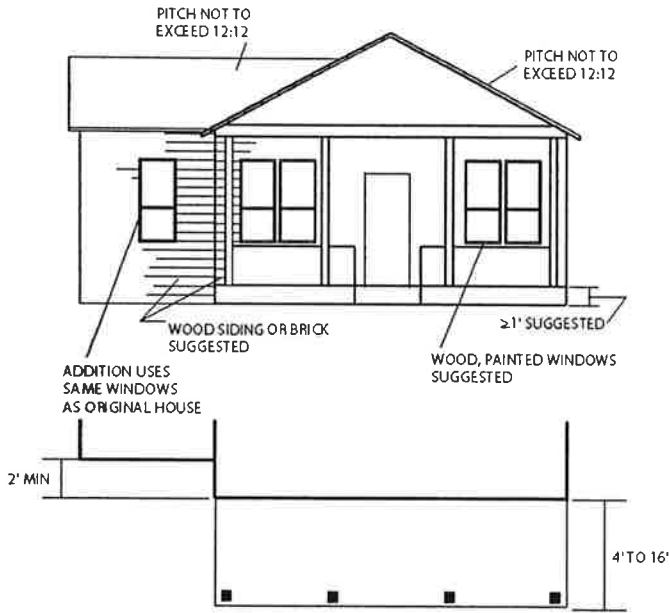
### Doors

Doors are encouraged to be of a similar type as others in the district.

### Materials

Natural materials, such as wood siding, brick, and stone are encouraged. The primary building of an accessory building should be the same as the building. Materials used in renovations should have similar texture, dimensions, and durability as the original materials.

- 7e) Add 10 points for the use of brick, wood siding, or stone as the primary materials on the building front.
- 7f) Add 10 points for the use of brick, wood siding, or stone as the primary building material on an addition or accessory structure.



## Architectural Elements

### Foundations

Conventional foundations are encouraged over slab-on-grade foundations.

7g) Add 10 points if the front entry and/or front porch is raised at least 1 foot above the ground.

### Additions

7h) Add 10 points if a side addition steps back at least 2 feet from the building front.

7i) Any addition must meet the setback requirements in section 1 and the height requirements in section 4.

### Demolition

Demolition of primary buildings within the district is discouraged unless the structure poses a threat to safety or health.

- 8a) Regardless of the new use of the property, the guidelines treat the area which was the front lot of the demolished primary building as the front lot.
- 8b) Buildings replacing demolished ones, regardless of use, must follow the guidelines in this document.

### Relocation

If a house is relocated to a vacant lot within the district, all guidelines still apply to the house and the property.

### Non-Residential Use

New buildings with non-residential use must still adhere to the guidelines for the Church District.

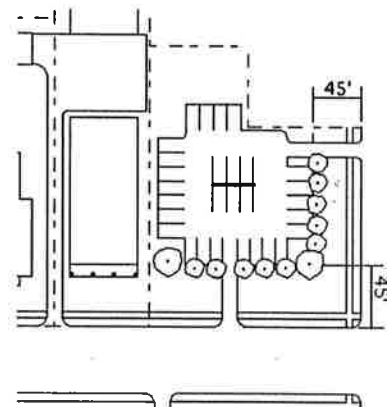
### Parking Lots

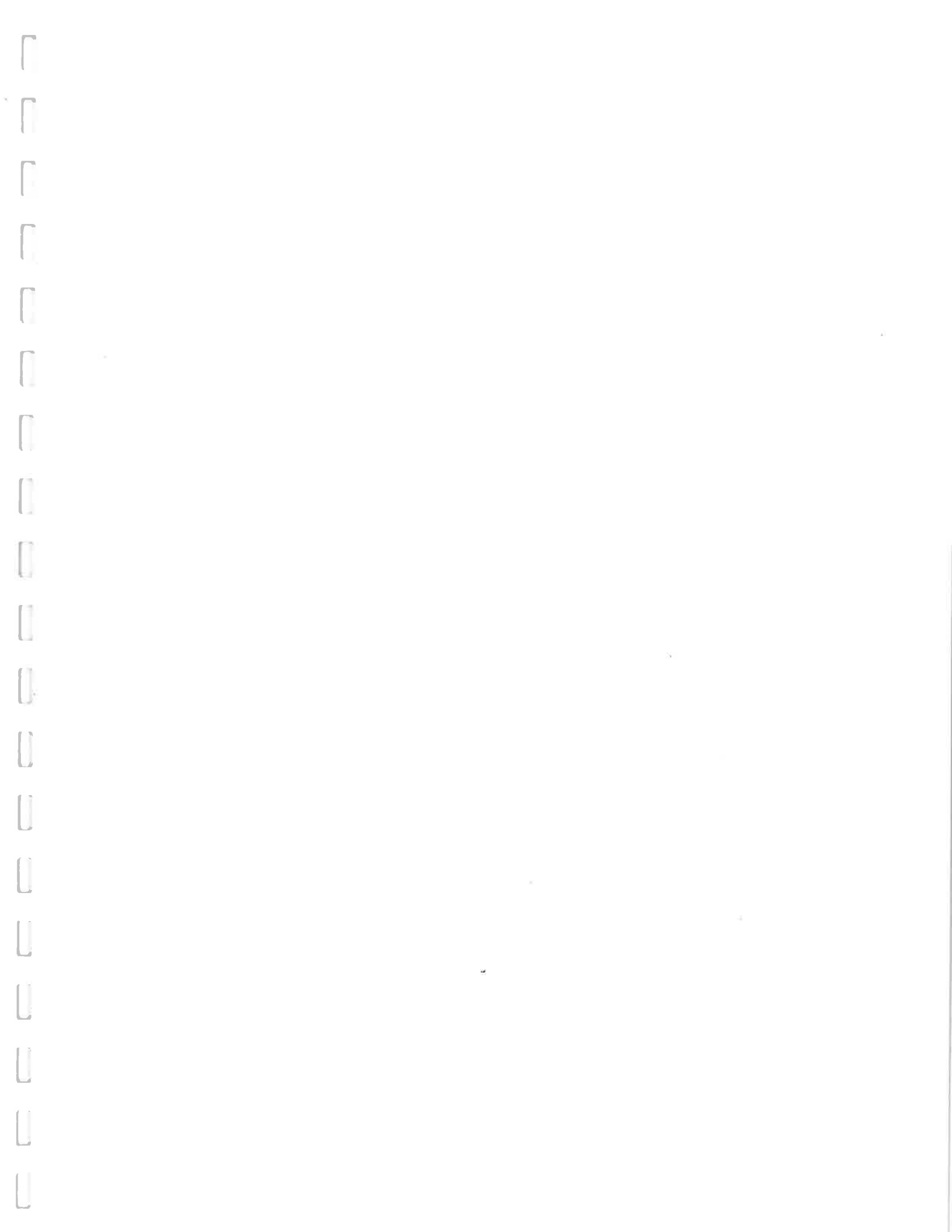
- 8c) If a property is used solely as a parking lot, all parking must occur at least 45 feet from the street.
- 8d) Entries may not be further than 4 feet from the side lot line.
- 8e) Entries may not exceed 10 feet in width until they are beyond the minimum setback of 45 feet.
- 8f) The area from the street to the parking lots must follow the landscaping guidelines in Section 5.
- 8g) The street edge of the parking lot should be screened with small, flowering trees such as crape myrtles or dogwoods, and/or tall, dense shrubs.

### Property Annexations

- 8h) If lots are acquired and become part of another property, the configuration of the acquired property must remain the same. For example, the front lot of a house that is purchased and demolished is still considered the front lot of that part of the property, and all front lot guidelines apply.

## 8) Site Use





# Highland District

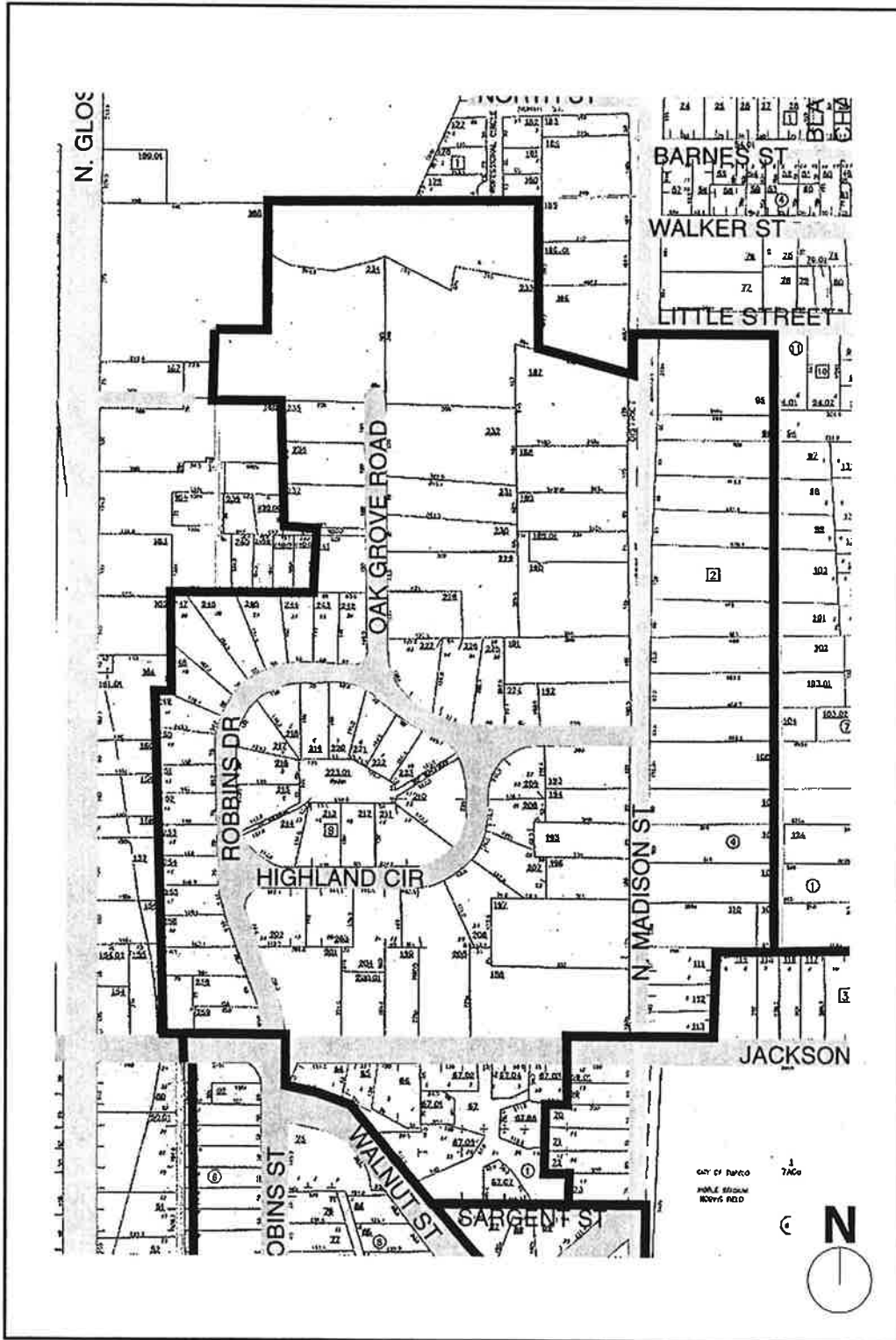
The Highland District is loosely bounded to the north by a swale, the south by Jackson Street, the east by North Madison Street, and the west by Gloster Street. The district is centered around a knoll encircled by a street, hence the name Highland Circle.

The most important visual characteristic of the district is the mature landscaping and deep front yards. Most houses are set back at almost the same dimension as their lot width, creating a square of land in the front yard. Large mature trees, shrubs, and flowers are throughout the district. The house types in this district are the most varied, from traditional southern types to types constructed by builders in every part of the country.

The aim of the guidelines in this district is to maintain the predominance of landscape elements over built form as the visual character.



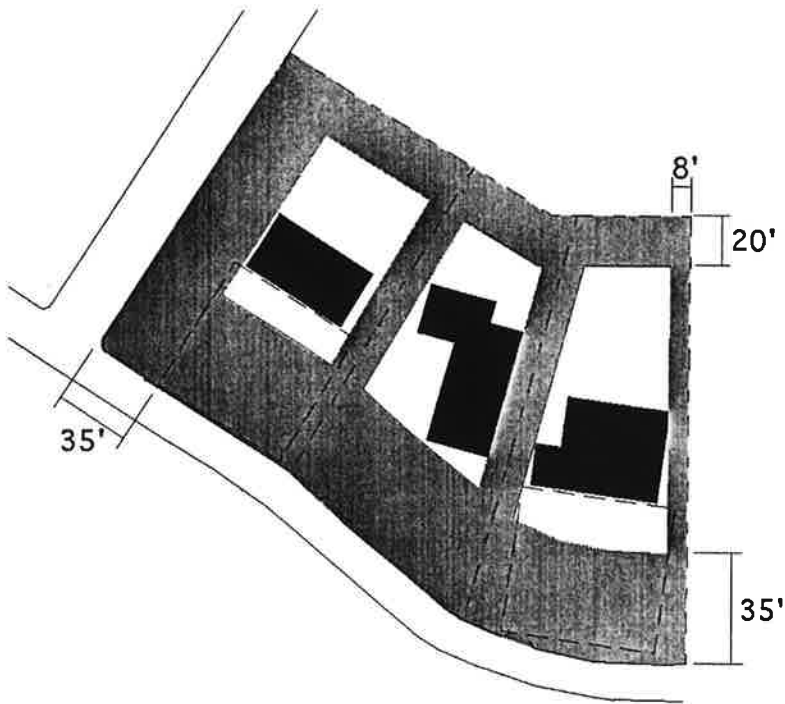




**Boundaries of the Highland district.**

Map Source: Lee County Assessment Map, 1991.

# Highland District



## 1) Setbacks/Lot Width/Coverage

### Setbacks

- 1a) Minimum setback from any street measured from the curb is 35 feet.
- 1b) Add 30 points if the setback is equal to the lot width or within 5 feet of the two adjacent buildings.
- 1c) Setback from the side property line is 8 feet.
- 1d) Setback from the rear property line is 20 feet.

### Building Width

- 1e) No minimum building width.

### Coverage

- 1f) Maximum building coverage including accessory buildings shall be 35% of the lot.
- 1g) Add 20 points for coverage between 15% and 20%.

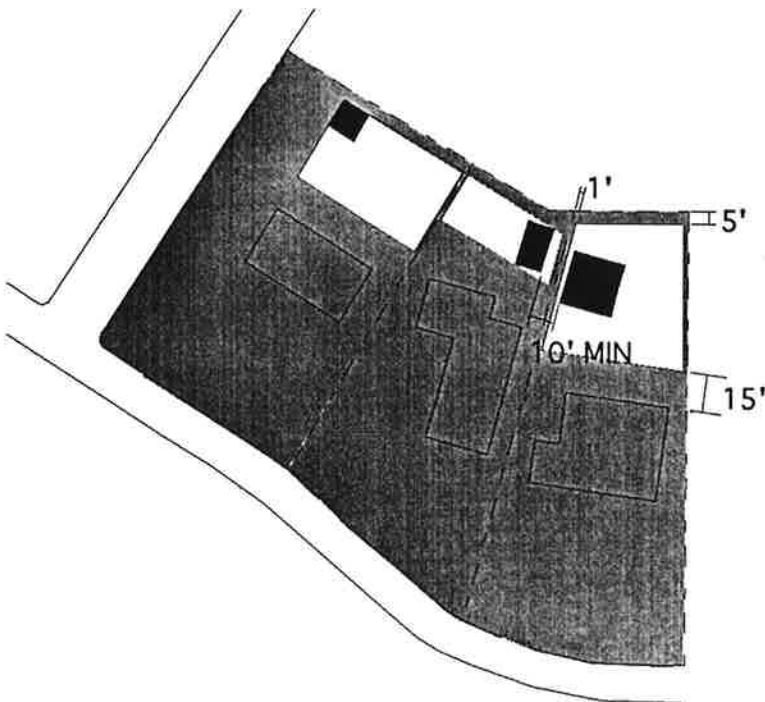
## 2) Accessory Buildings

### Placement

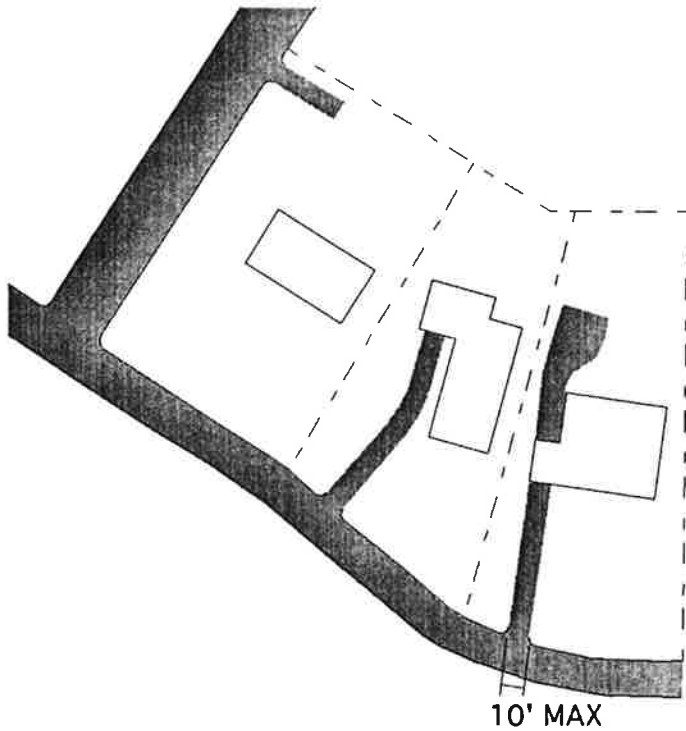
- 2a) Accessory buildings shall be located to the rear of the primary building and behind the face of the building oriented to the side street.
- 2b) Accessory buildings may be placed within 1 foot of side property lines but must be 10 feet from any other structure. Accessory buildings must be placed at least 5 feet from the rear property line.

### Size

- 2c) The maximum size for a carport or garage is 500 square feet.
- 2d) Add 20 points for a living space above a carport or garage.



### 3) Parking/Driveways



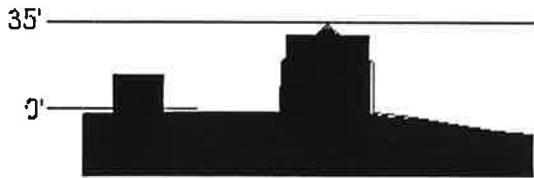
#### Parking

- 3a) May occur on the street and in the rear or to the side of the house.
- 3b) Parking in the front yard area is not allowed.

#### Driveways

- 3c) Only one driveway is allowed for each house.
- 3d) *Add 10 points if two adjacent houses share a driveway.*
- 3e) Driveways may only be located to the side or rear of the house
- 3f) No circular drives are allowed.
- 3g) Driveways may not exceed 10 feet in width until they are beyond the face of the building.

### 4) Building Heights



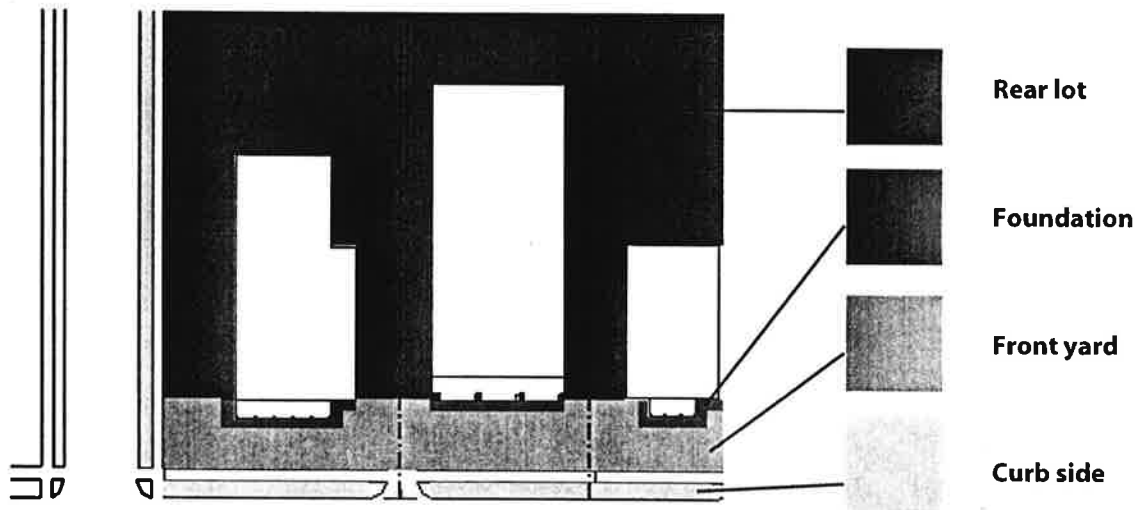
#### All

- 4a) 35 foot maximum height.



## 5) Landscaping

Well maintained, appropriate landscaping contributes greatly to the character of a street or neighborhood. Landscaping includes grass, shrubbery, flowers, ground covers, and other natural elements. These guidelines divide lots into zones where different kinds of plant material are suggested.



### Rear Lot

No specific suggestions for density, species or height.

### Foundation

This zone is about a six foot deep area on the front edge of the house. Shrubs and flower beds are encouraged here, but should not be so dense and tall that they cover most of the front of the house. Azaleas, boxwoods, camellia, jasmine, holly, and daylillies are some suggestions for this part of the yard. Small flowering trees, such as crape myrtles or birches are also appropriate.

### Front Yard

The front yard should be planted mostly with grass, but small amounts of low ground covers and shrubs are also appropriate. Planting trees in the front yard is strongly encouraged. Tall, deciduous shade trees such as oaks, maples, and ash trees as well as smaller, flowering trees such as dogwoods and crape myrtles are appropriate. Trees should be planted so that root growth does not damage the sidewalk. If magnolia trees are planted, they should be placed toward a side property line, so that they do not block the front of the house. Small shrubs and ground covers such as azaleas, monkey grass, and boxwoods may be planted at the side property lines. Flowers and low ground covers such as monkey grass may be planted along the sidewalk.

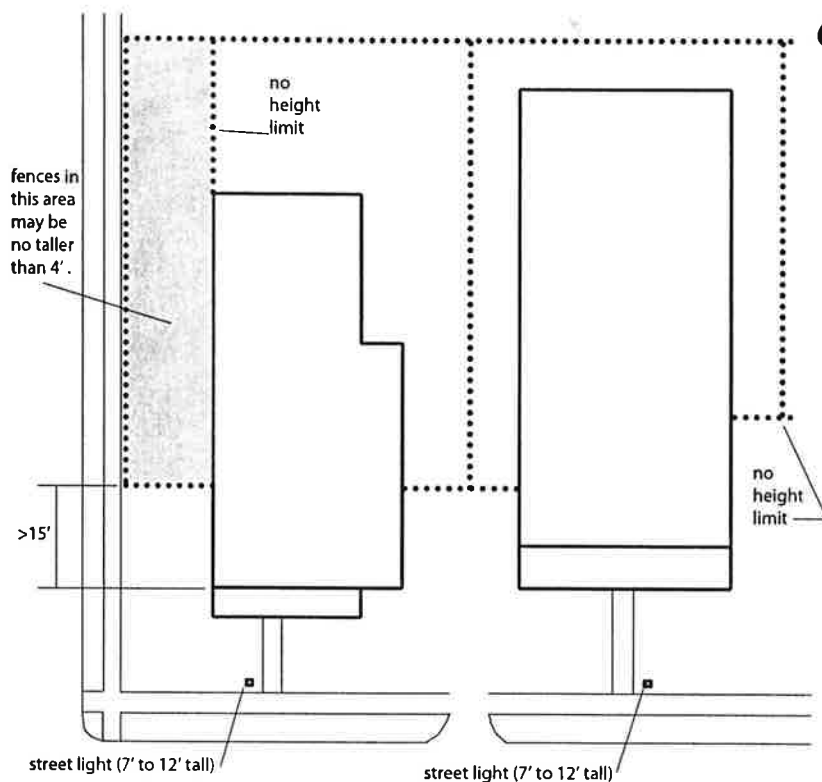
5a) No tree of an 8 inch or larger caliper shall be removed from the front yard without approval from the planning department.

5b) Add 20 points for planting at least two trees in the front yard, or if at least two trees already exist.

### Curb Side

Trees of both small and large caliper may be planted in the area between the curb and the sidewalk. Flowers, low shrubs, and ground covers may be planted here as well.

5c) No tree of an 8 inch or larger caliper shall be removed from the front yard without approval from the planning department.



## 6) Site Details

### Fences

- 6a) Fences may be placed in side lots at least 15 feet from the front of the house.
- 6b) Fences in the side lot area of corner lots must be no taller than 4 feet.
- 6c) No fences are allowed in the front lot.
- 6d) Add 10 points for painted, wood fencing.

### Walks

- 6e) Add 5 points for a paved walk, no more than 6 feet wide, from the entry to the sidewalk.

### Mail Slot / Box

- 6f) Provide a mail slot/box on the front of the house.

### Lighting

- 6g) If pedestrian scaled street lighting does not exist, add 5 points for a light (7 feet to 12 feet in height) located at the sidewalk.
- 6h) Add 5 points for a porch light.

## 7) Architectural Elements

### Type

Refer to the *Types* section for more information. Appropriate types for the Highland District are: 1c, 1d, 1e, 2a, 2b, 2c, 2d, 2e, 3a, 3b, 3c, 3d, 3e, 4a, 4b, 4c, 5, 6, 7. If a house does not fit a type, renovations or additions may be made so that the house then fits a type appropriate to the district.

- 7a) Add 25 points if a new building uses a type appropriate to the district.

### Front Porches

Original porch materials should be maintained. If the existing porch materials must be replaced, materials similar in size, texture, and color should be used. Porches enclosed with screen or glass are discouraged.

- 7b) If a new building does not use one of the appropriate types, add 20 points for a front porch with a width that comprises at least 20% of the front, and a depth of 4 feet to 16 feet.

### Roofs

New roofs should have the same pitch and form as the original roof. New roof materials should look like the original roofing materials. Additions should have similar or related roof forms and materials.

Dormers should not be added to the front of the house, unless the house then fits a type appropriate to its district.

- 7c) No roof pitch shall exceed 18:12.

### Windows

Refer to the *Types* section for examples of appropriate window placement, size, and divisions. New windows should be similar to original windows in muntin sizes, color, and spacing.

- 7d) Add 5 points for painted, wood windows.

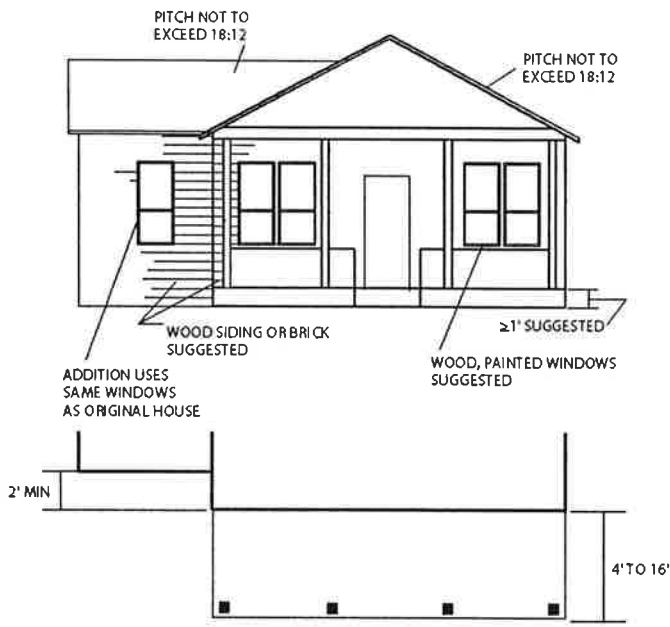
### Doors

Doors are encouraged to be of a similar type as others in the district.

### Materials

Natural materials, such as wood siding, brick, and stone are encouraged. The primary building of an accessory building should be the same as the building. Materials used in renovations should have similar texture, dimensions, and durability as the original materials.

- 7e) Add 20 points for the use of brick, wood siding, or stone as the primary materials on the building front.
- 7f) Add 15 points for the use of brick, wood siding, or stone as the primary building material on an addition or accessory structure.



## Architectural Elements

### Foundations

Conventional foundations are encouraged over slab-on-grade foundations.

- 7g) Add 10 points if the front entry and/or front porch is raised at least 1 foot above the ground.

### Additions

- 7h) Add 10 points if a side addition steps back 2 feet from the primary building front.  
7i) Any addition must meet the setback requirements in section 1 and the height requirements in section 4.

### Demolition

Demolition of primary buildings within the district is discouraged unless the structure poses a threat to safety or health.

- 8a) Regardless of the new use of the property, the guidelines treat the area which was the front lot of the demolished primary building as the front lot.  
8b) Buildings replacing demolished ones, regardless of use, must follow the guidelines in this document.

### Relocation

If a house is relocated to a vacant lot within the district, all guidelines still apply to the house and the property.

### Non-Residential Use

New buildings with non-residential use must still adhere to the guidelines for the Highland District.

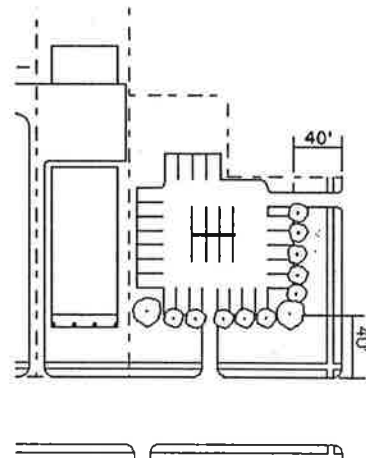
### Parking Lots

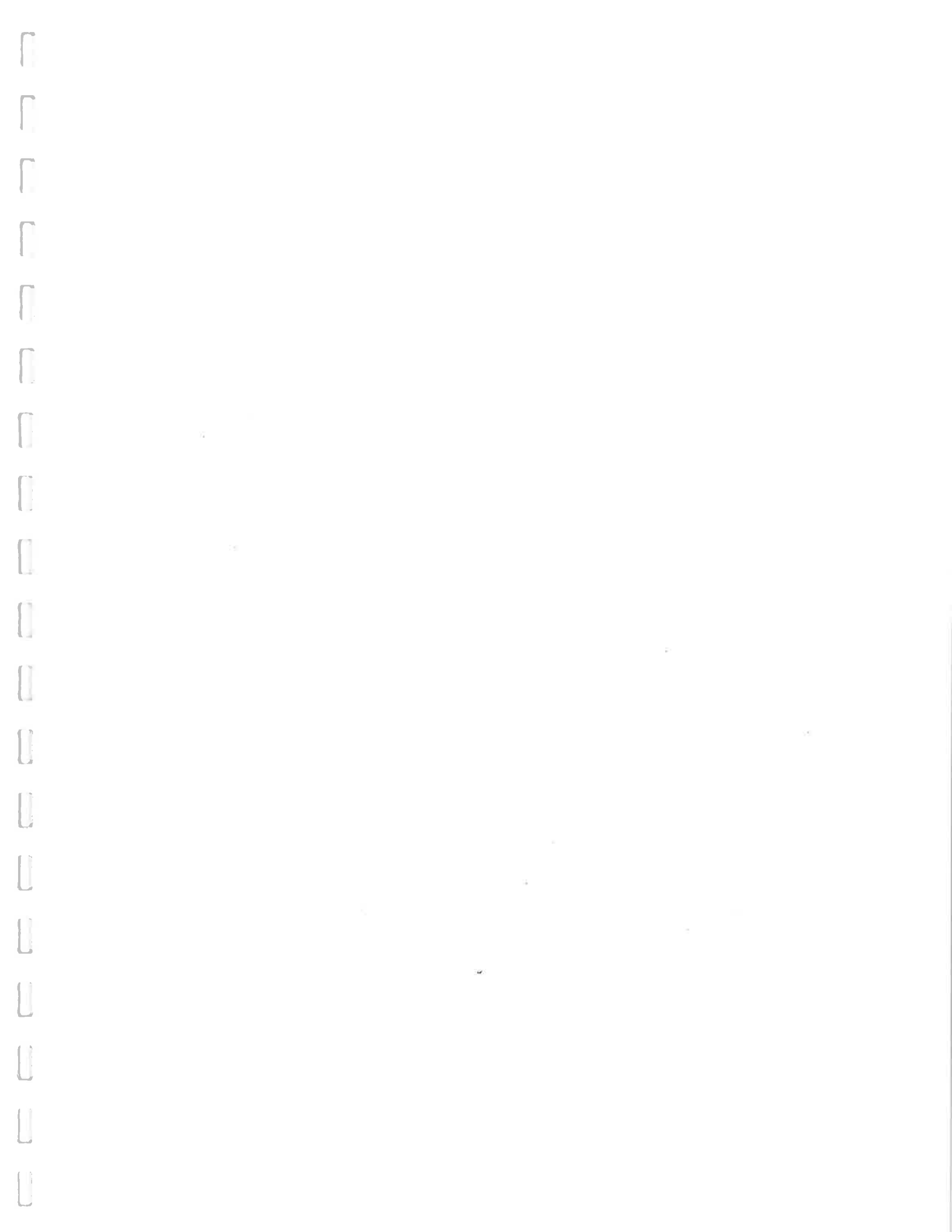
- 8c) If a property is used solely as a parking lot, all parking must occur at least 40 feet from the street.  
8d) Entries may not be further than 4 feet from the side lot line.  
8e) Entries may not exceed 10 feet in width until they are beyond the minimum setback of 40 feet.  
8f) The area from the street to the parking lots must follow the landscaping guidelines in Section 5.  
8g) The street edge of the parking lot should be screened with small, flowering trees such as crape myrtles or dogwoods, and/or tall, dense shrubs.

### Property Annexations

- 8h) If lots are acquired and become part of another property, the configuration of the acquired property must remain the same. For example, the front lot of a house that is purchased and demolished is still considered the front lot of that part of the property, and all front lot guidelines apply.

## 8) Site Use





# Madison District

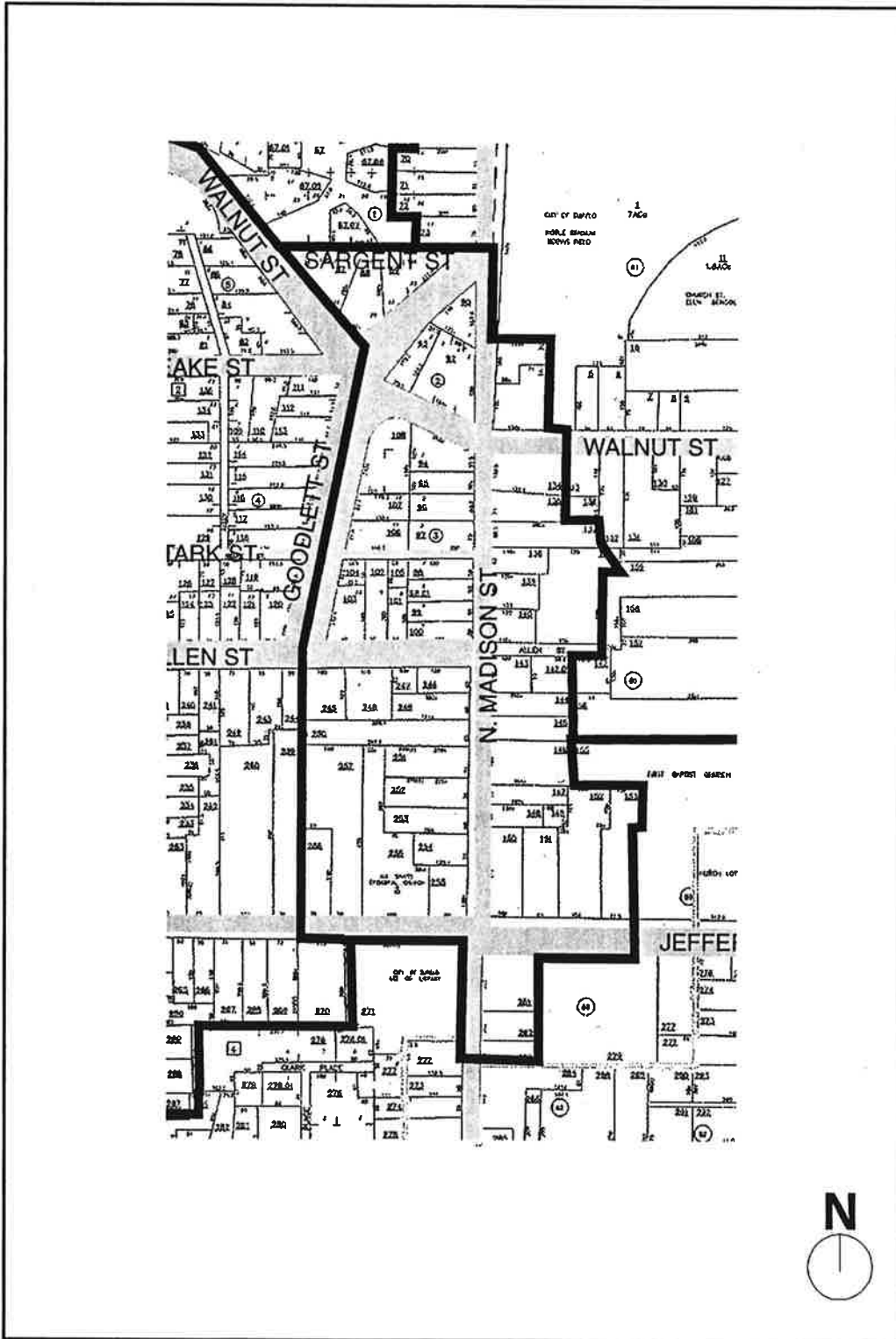
The Madison District is roughly bounded on the east by Madison Street, the west by Goodlett Street, the north by Sargent Street, and the south by Jefferson Street. Madison Street organizes this district and runs between two important landmarks and public facilities, the Lee County Library and Robins Field.

Visually, the Madison District is characterized by an intimate street scale and dense housing. The street width is only twenty-two feet and most lot widths are fifty to seventy feet. The housing types vary greatly from small cottages to large two story types.

The guidelines for the Madison District promote the density found in the district and the definition of the space of the street through building width requirements and tight setbacks. More continuity of streetscape is promoted by incentives for trees along the sidewalk. Improvements to sidewalks in this area will also help to make Madison Street an important pedestrian link between the Lee County Courthouse and Robins Field.

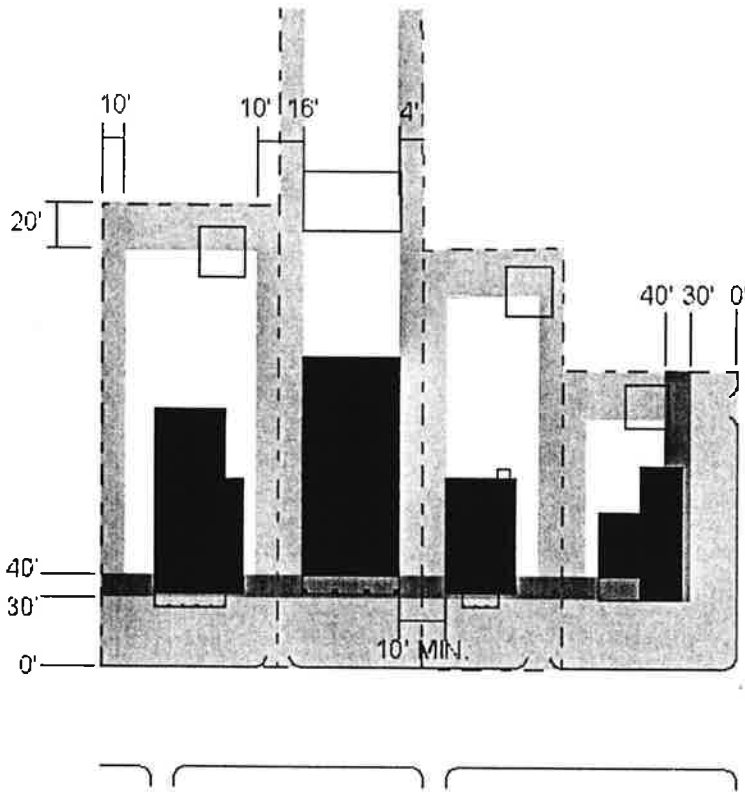






**Boundaries of the Madison district.**  
 Map Source: Lee County Assessment Map, 1991.

# Madison District



## 1) Setbacks/Lot Width/Coverage

### Setbacks

- 1a) Minimum front setback measured from the curb to a street is 30 feet.
- 1b) Add 30 points for setbacks between 30 and 40 feet.
- 1c) The two side setbacks must add up to at least 20 feet and each side setback must be 4 feet wide minimum.
- 1d) The minimum distance between any two structures must be 10 feet.
- 1e) The setback from the rear property line is 20 feet.

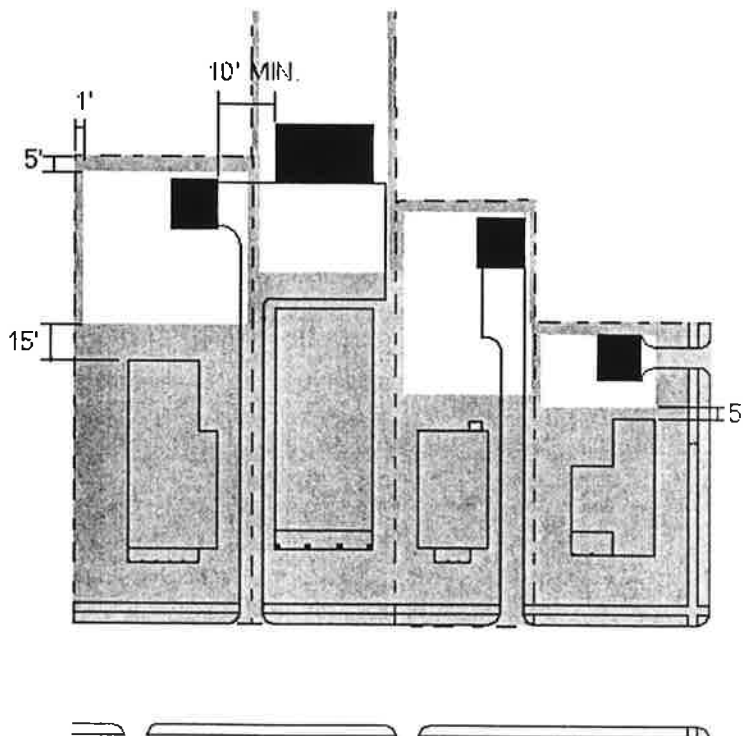
### Building Width

- 1f)  $\frac{\text{Width of Building Front}}{\text{Width of Lot}} \times 100 > 49$

### Coverage

$$\frac{\text{Area of Ground Floor}}{\text{Area of Lot}} \times 100$$

- 1g) Maximum building coverage including accessory buildings shall be 35% of the lot.
- 1h) Add 15 points for coverage between 20% and 25%.



## 2) Accessory Buildings

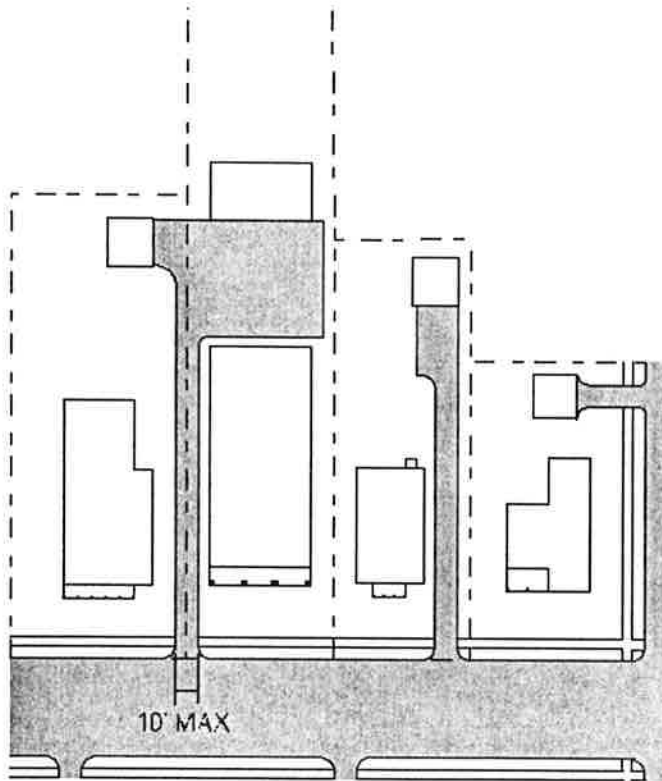
### Placement

- 2a) Accessory buildings must be located to the rear of the primary building.
- 2b) Accessory buildings shall not be placed within 1 foot of side lot lines or 5 feet from rear lot lines.
- 2c) Accessory buildings must be 10 feet from any other structure.
- 2d) On corner lots, accessory buildings must be at least 5 feet from the primary building and extend no further than the edge of the building facing the side street.
- 2e) If an accessory building is placed within 15 feet of the principal building, it must conform to the yard requirements of the principal building.

### Size

- 2f) The maximum size for a carport or garage is 500 square feet.
- 2g) Add 20 points for living space above a carport or garage.

### 3) Parking/Driveways



#### Parking

- 3a) Occurs on rear or side of the house. Parking in the front yard area is not allowed.
- 3b) On-street parking is allowed on Madison Street.

#### Driveways

- 3c) One driveway is allowed for each house.
- 3d) Add 15 points if two adjacent houses share a driveway.
- 3e) Driveways may only be located to the side or rear of the house.
- 3f) No circular drives are allowed.
- 3g) Driveways may not exceed 10 feet in width until they are behind or to the side of the house.
- 3h) Driveways may not be further than 4 feet from the side lot line.
- 3i) Driveways from a side street may not exceed 10 feet in width until they are beyond the edge of the building facing the side street.

### 4) Building Heights

#### 1 Story

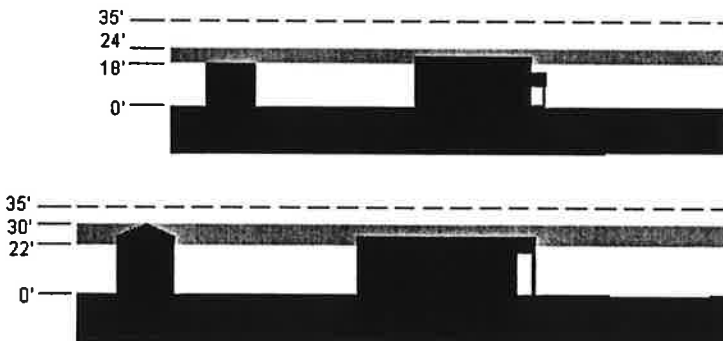
- 4a) 35 foot maximum height.
- 4b) Add 15 points for heights between 18 and 24 feet.

#### 1 1/2 Story

- 4c) 35 foot maximum height.
- 4d) Add 15 points for heights between 18 and 24 feet.

#### 2 Story

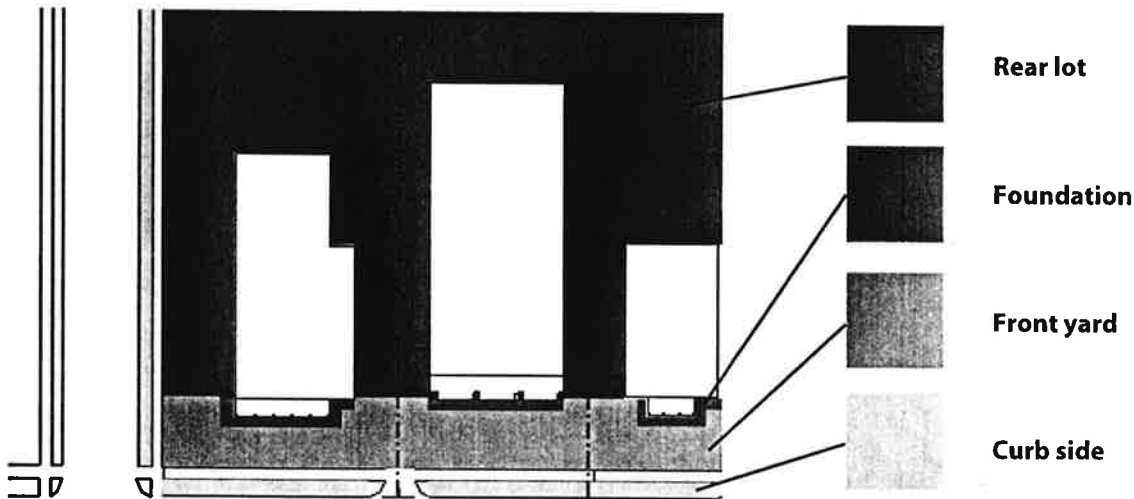
- 4e) 35 foot maximum height.
- 4f) Add 15 points for heights between 22 and 30 feet.





## 5) Landscaping

Well maintained, appropriate landscaping contributes greatly to the character of a street or neighborhood. Landscaping includes grass, shrubbery, flowers, ground covers, and other natural elements. These guidelines divide lots into zones where different kinds of plant material is suggested.



### Rear Lot

No specific suggestions for density, species or height.

### Foundation

This zone is about a six foot deep area along the front edge of the house. Shrubs and flower beds are encouraged here, but shrubbery should **not** be so dense and tall that it covers most of the front of the house. Azaleas, boxwoods, camellia, jasmine, holly, and daylillies are some suggestions for plants in this part of the yard.

### Front Yard

The front yard should be planted mostly with grass, but small amounts of low ground covers and shrubs are also appropriate. Planting trees in the front yard is strongly encouraged. Canopies of mature trees along the sidewalk should be trimmed so they do not block a pedestrian's view of the house. Tall, deciduous shade trees, such as oaks, maples, and ash trees, are encouraged in the front yard. Trees should be planted so that root growth does not damage the sidewalk. If magnolia trees are planted, they should be placed toward a side property line, so that they do not block the front of the house. Shrubs or ground covers are not recommended at the side property lines, or along the sidewalk or curb.

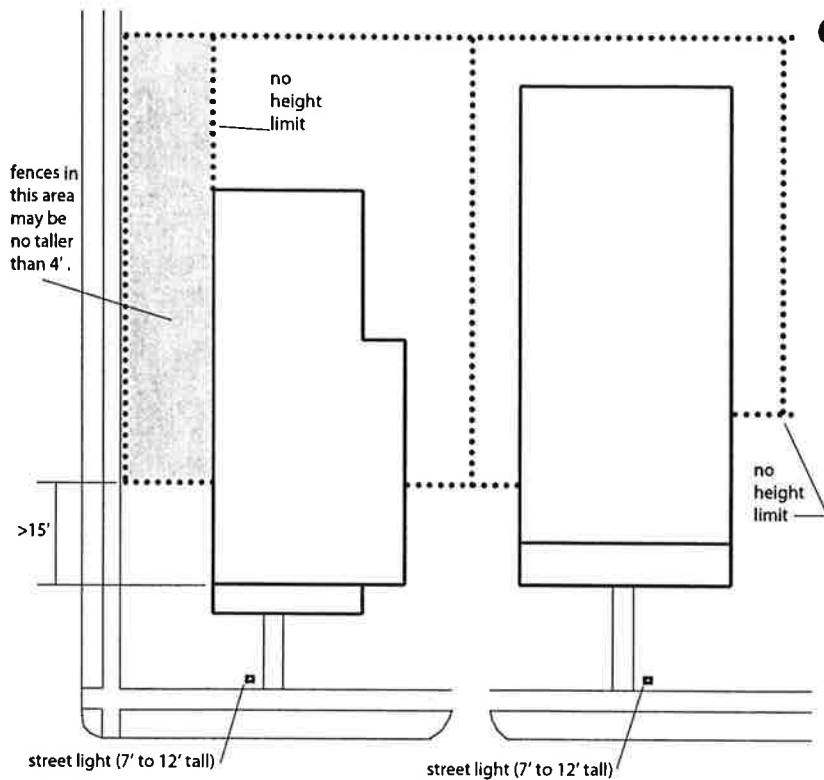
- 5a) No tree of a 8 inch or larger caliper should be removed from the front yard without approval from the planning department.
- 5b) Add 10 points for planting at least two flowering trees (either crape myrtles or dogwoods) 5 feet from the edge of the sidewalk, or if at least two such trees already exist.

### Curb Side

On Madison Street, the area between the curb and the sidewalk should be planted only with grass. Trees should not be planted in this area, since there is not enough space for roots to grow.

On Walnut Street, Allen Street, and Jefferson Street, trees can be planted in the area between the curb and the sidewalk. Low shrubs, flowers, and ground covers such as monkey grass are appropriate here as well.

- 5c) No tree of a 8 inch or larger caliper shall be removed without approval from the planning department.



## 6) Site Details

### Fences

- 6a) Fences may be placed in side lots at least 15 feet from the front of the house.
- 6b) Fences in the side lot area of corner lots must be no taller than 4 feet.
- 6c) No fences are allowed in the front lot.
- 6d) Add 5 points for painted, wood fencing.

### Walks

- 6e) Add 5 points for a paved walk, no more than 6 feet wide, from the entry to the sidewalk.

### Mail Slot / Box

- 6f) Provide a mail slot/box on the front of the house.

### Lighting

- 6g) If pedestrian scaled street lighting does not exist, add 5 points for a light (7 feet to 12 feet in height) located at the sidewalk.
- 6h) Add 5 points for a porch light.

## 7) Architectural Elements

### Type

Refer to the *Types* section for more information.

Appropriate types for the Madison District are:

1a, 1b, 1c, 1d, 1e, 1g, 2b, 2d, 3a, 3b, 3c, 3d, 5, 8 (Jefferson St. only), 9

If a house does not fit a type, renovations or additions may be made so that the house then fits a type appropriate to the district.

- 7a) Add 35 points if a new building uses a type appropriate to the district.

### Front Porches

Original porch materials should be maintained. If the existing porch materials must be replaced, materials similar in size, texture, and color should be used. Porches enclosed with screen or glass are discouraged.

- 7b) If a new building does not use one of the appropriate types, add 25 points for a front porch with a width that comprises at least 40% of the front, and a depth of 4 feet to 16 feet.

### Roofs

New roofs should have the same pitch and form as the original roof. New roof materials should look like the original roofing materials.

Additions should have similar or related roof forms and materials.

Dormers should not be added to the front of the house,

- 7c) No roof pitch shall exceed 12:12.

### Windows

Refer to the *Types* section for examples of appropriate window placement, size, and divisions. New windows should be similar to original windows in muntin sizes, color, and spacing.

- 7d) Add 5 points for painted, wood windows.

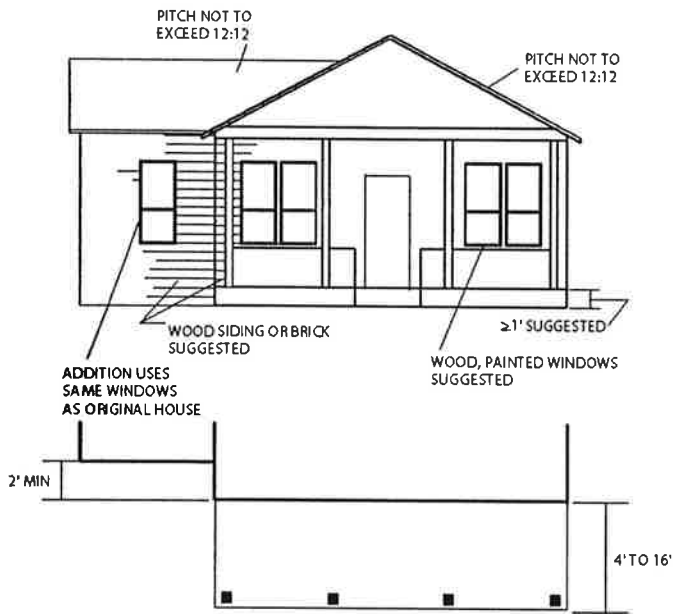
### Doors

Doors are encouraged to be of a similar type as others in the district.

### Materials

Natural materials, such as wood siding, brick, and stone are encouraged. On Madison Street, brightly painted brick or siding is suggested over darker colors. The primary building of an accessory building should be the same as the building. Materials used in renovations should have similar texture, dimensions, and durability as the original materials.

- 7e) Add 10 points for the use of brick, wood siding, or stone as the primary materials on the building front.
- 7f) Add 10 points for the use of brick, wood siding, or stone as the primary building material on an addition or accessory structure.



## Architectural Elements

### Foundations

Conventional foundations are encouraged over slab-on-grade foundations.

- 7g) Add 10 points if the front entry and/or front porch is raised at least 1 foot above the ground.

### Additions

- 7h) Add 10 points if an addition steps back at least 2 feet from the primary building front.
- 7i) Any addition must meet the setback requirements in section 1 and the height requirements in section 4.

### Demolition

Demolition of primary buildings within the district is discouraged unless the structure poses a threat to safety or health.

- 8a) Regardless of the new use of the property, the guidelines treat the area which was the front lot of the demolished primary building as the front lot.
- 8b) Buildings replacing demolished ones, regardless of use, must follow the guidelines in this document.

### Relocation

If a house is relocated to a vacant lot within the district, all guidelines still apply to the house and the property.

### Non-Residential Use

New buildings with non-residential use must still adhere to the guidelines for the Madison District.

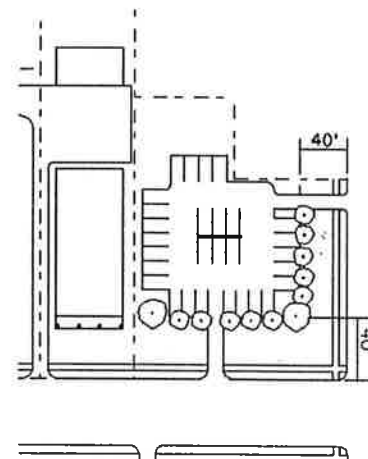
### Parking Lots

- 8c) If a property is used solely as a parking lot, all parking must occur at least 40 feet from the street.
- 8d) Entries may not be further than 4 feet from the side lot line.
- 8e) Entries may not exceed 10 feet in width until they are beyond the minimum setback of 40 feet.
- 8f) The area from the street to the parking lots must follow the landscaping guidelines in Section 5.
- 8g) The street edge of the parking lot should be screened with small, flowering trees such as crape myrtles or dogwoods, and/or tall, dense shrubs.

### Property Annexations

- 8h) If lots are acquired and become part of another property, the configuration of the acquired property must remain the same. For example, the front lot of a house that is purchased and demolished is still considered the front lot of that part of the property, and all front lot guidelines apply.

## 8) Site Use

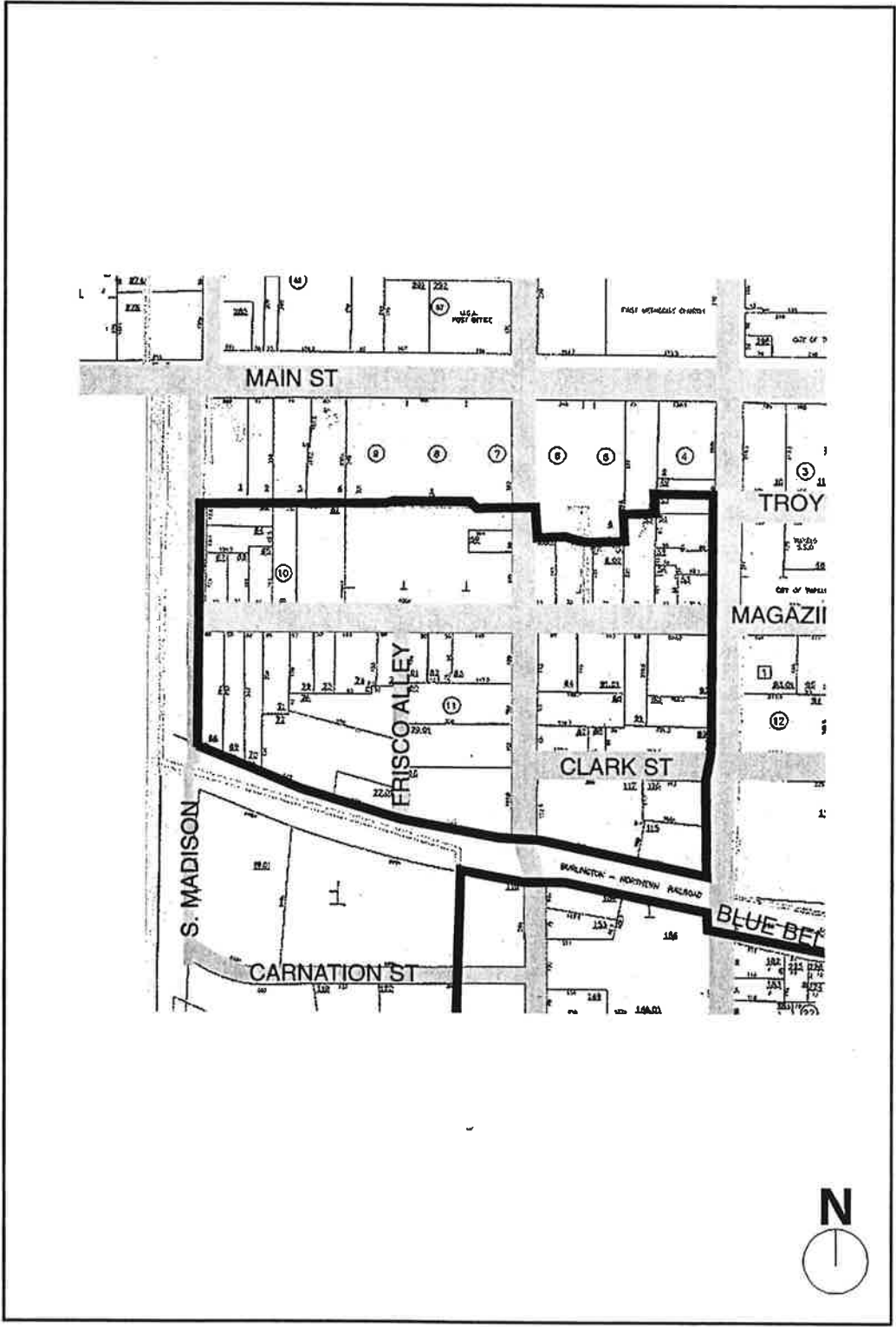


# Magazine District

The Magazine District is bounded on the east by Green Street, the west by South Madison Street, the south by the Burlington-Northern Railroad, and on the north by Main Street. The area is centered around Magazine Street, a wide street with a row of large trees. The buildings on Magazine Street vary from bungalows to large homes with verandas to brick apartment buildings. Some small commercial buildings are also on Magazine Street.

With adjacency to the downtown business district, the Magazine District could help to bring life to the business district after dark. More multifamily housing in the Magazine district would encourage more small shops and restaurants to cater to residents of the District. The Magazine District has the greatest potential for city-like urban residential living in the entire overlay district. These guidelines encourage this potential by promoting greater density in this District.

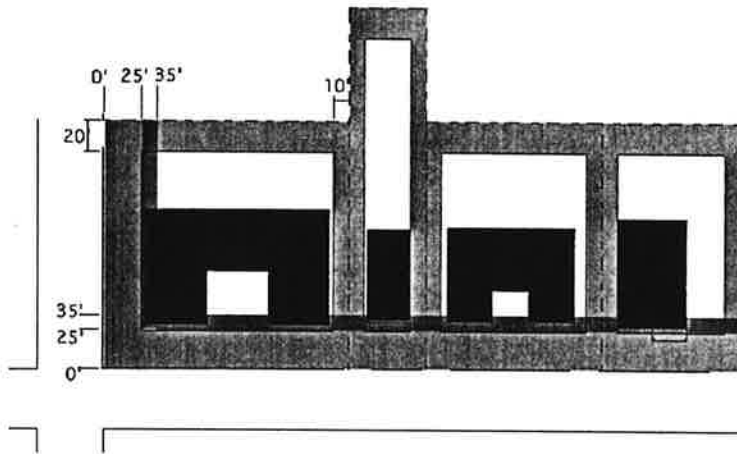




**Boundaries of the Magazine district.**  
 Map Source: Lee County Assessment Map, 1991.



# Magazine District



## 1) Setbacks/Lot Width/Coverage

### Setbacks

- 1a) Minimum setback to the street measured from the curb is 25 feet.
- 1b) Add 25 points for setback to the street between 25 and 35 feet.
- 1c) Setback from the side property line is 10 feet.
- 1d) Setback from the rear property line is 20 feet.

### Building Width

- 1e)  $\frac{\text{Width of Building Front}}{\text{Width of Lot}} \times 100 > 49$

### Coverage

- 1f) Maximum building coverage including accessory buildings shall be 50% of the lot.
- 1g) Add 20 points for coverage above 35%.

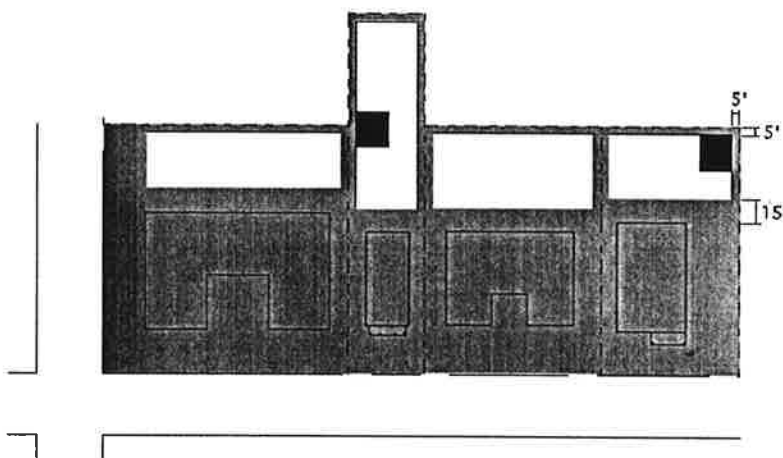
## 2) Accessory Buildings

### Placement

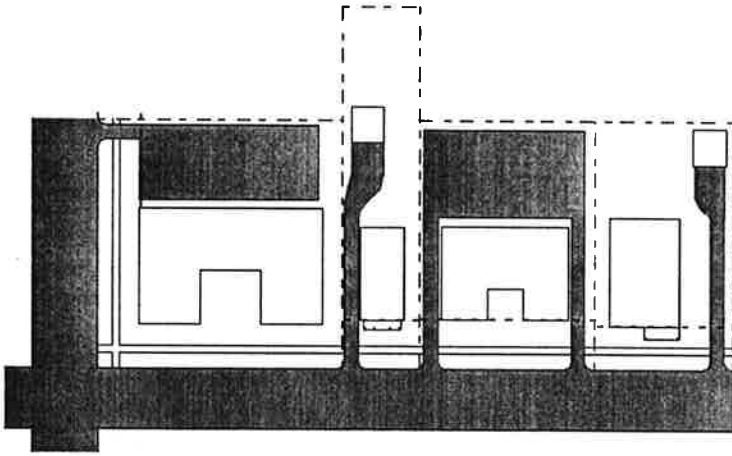
- 2a) Accessory buildings shall be located to the rear of the primary building.
- 2b) Accessory buildings shall be placed a minimum of 5 feet from the side and rear property lines.
- 2c) If an accessory building is placed within 15 feet of the principal building, it must conform to the yard requirements of the principal building.
- 2d) Accessory buildings on corner lots must be placed behind the face of the building oriented to the side street.

### Size

- 2e) The maximum size for a carport or garage is 500 square feet.
- 2f) Add 20 points for a living space above a carport or garage.



### 3) Parking/Driveways



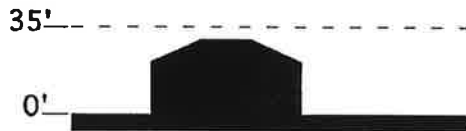
#### **Parking**

- 3a) May occur on the street and in the rear of the building.
- 3b) Parking in the front yard area is not allowed.

#### **Driveways**

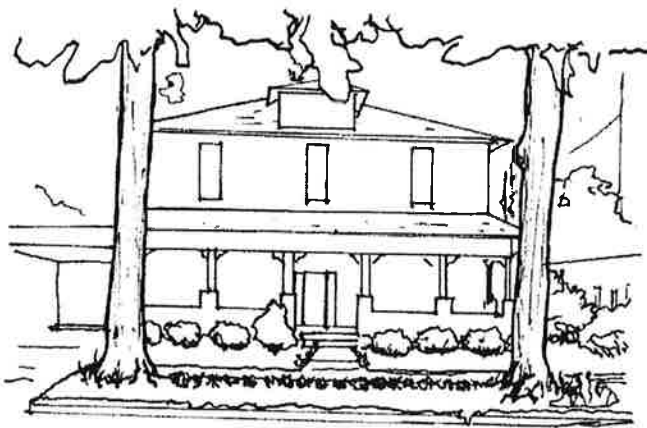
- 3c) Driveways may only be located to the side or rear of the house
- 3d) No circular drives are allowed.
- 3e) Driveways may not exceed 10 feet in width until they are beyond the face of the building.

### 4) Building Heights



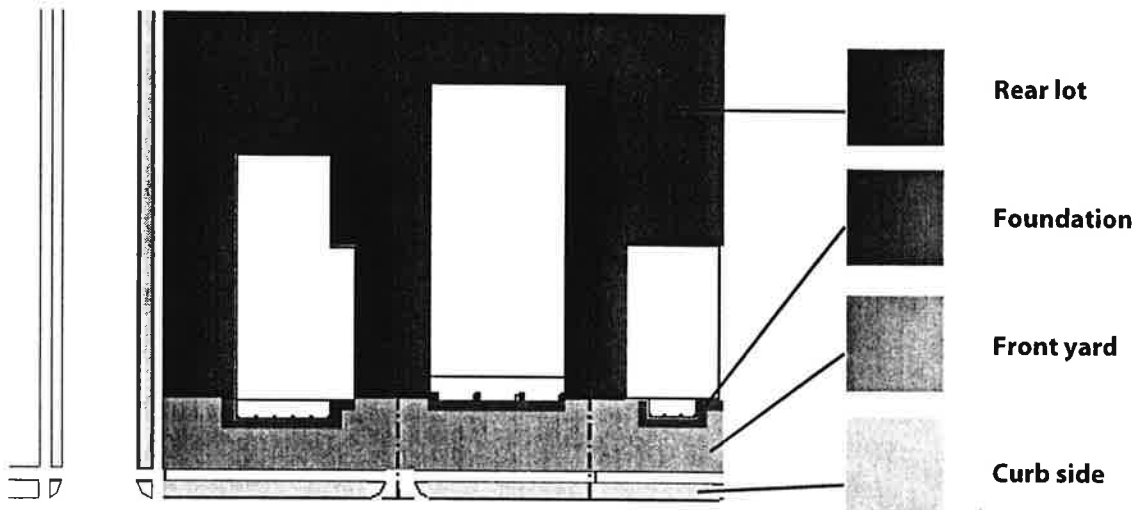
#### **All**

- 4a) 35 foot maximum height.



## 5) Landscaping

Well maintained, appropriate landscaping contributes greatly to the character of a street or neighborhood. Landscaping includes grass, shrubbery, flowers, ground covers, and other natural elements. These guidelines divide lots into zones where different kinds of plant material are suggested.



### Rear Lot

No specific suggestions for density, species or height.

### Foundation

This zone is about a six foot deep area on the front edge of the house. Shrubs and flower beds are encouraged here, but should not be so dense and tall that they cover most of the front of the house. Azaleas, boxwoods, camellia, jasmine, holly, and daylillies are some suggestions for this part of the yard. Small flowering trees, such as crape myrtles or birches are also appropriate.

### Front Yard

The front yard should be planted mostly with grass, but small amounts of low ground covers and shrubs are also appropriate. Planting trees in the front yard is strongly encouraged. Tall, deciduous shade trees such as oaks, maples, and ash trees as well as smaller, flowering trees such as dogwoods and crape myrtles are appropriate. Pines are also appropriate. Trees should be planted so that root growth does not damage the sidewalk. If magnolia trees are planted, they should be placed toward a side property line, so that they do not block the front of the house. Flowers, small shrubs, and ground covers such as azaleas, monkey grass, and boxwoods may be planted at the side property lines, but are not recommended along the sidewalk.

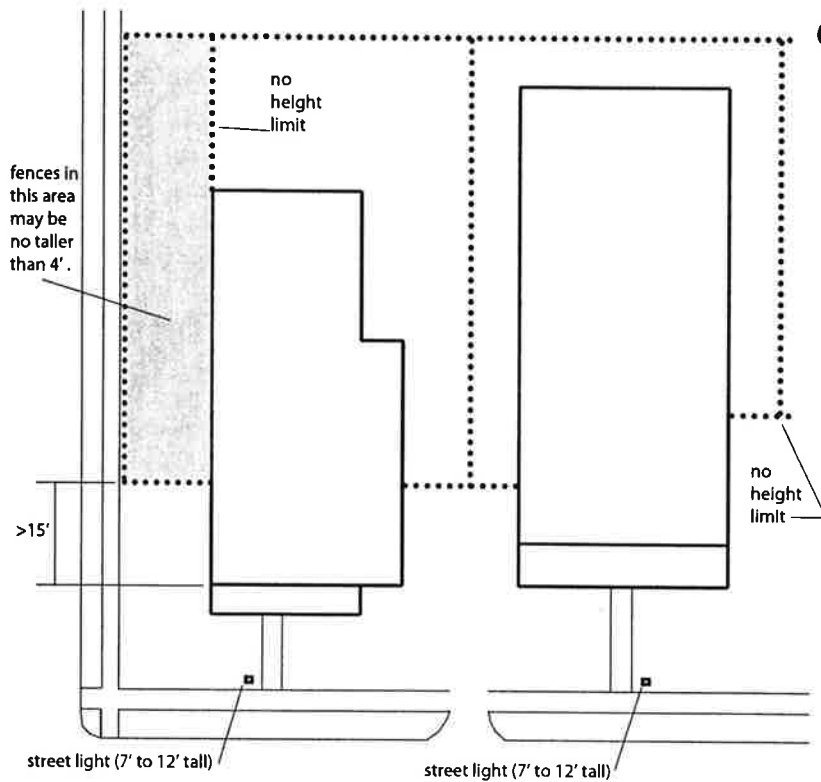
5a) No tree of an 8 inch or larger caliper shall be removed from the front yard without approval from the planning department.

5b) Add 10 points for planting at least two trees in the front yard, or if at least two trees already exist.

### Curb Side

Large shade trees as well as smaller flowering trees are encouraged in this area. Planting flowers and/or low ground covers, such as monkey grass, is encouraged in this part of the yard.

5c) No tree of an 8 inch or larger caliper shall be removed from the front yard without approval from the planning department.



## 6) Site Details

### Fences

- 6a) Fences may be placed in side lots at least 15 feet from the front of the house.
- 6b) Fences in the side lot area of corner lots must be no taller than 4 feet.
- 6c) No fences are allowed in the front lot.
- 6d) Add 10 points for painted, wood fencing.

### Walks

- 6e) Add 10 points for a paved walk, no more than 6 feet wide, from the entry to the sidewalk.

### Mail Slot / Box

- 6f) Provide a mail slot/box on the front of the house.

### Lighting

- 6g) If pedestrian scaled street lighting does not exist, add 10 points for a light (7 feet to 12 feet in height) located at the sidewalk.
- 6h) Add 10 points for a porch light.

## 7) Architectural Elements

### Type

Refer to the *Types* section for more information. Appropriate types for the Magazine District are: 1a, 1b, 1c, 1d, 1e, 1f, 1g, 2b, 3c, 3d, 4b, 4c, 5, 8, 9. If a house does not fit a type, renovations or additions may be made so that the house then fits a type appropriate to the district.

- 7a) Add 35 points if a new building uses a type appropriate to the district.

### Front Porches

Original porch materials should be maintained. If the existing porch materials must be replaced, materials similar in size, texture, and color should be used. Porches enclosed with screen or glass are discouraged.

- 7b) If a new building does not use one of the appropriate types, add 20 points for a front porch with a width that comprises at least 40% of the front, and a depth of 4 feet to 16 feet.

### Roofs

New roofs should have the same pitch and form as the original roof. New roof materials should look like the original roofing materials.

Additions should have similar or related roof forms and materials.

Dormers should not be added to the front of the house, unless the house then fits a type appropriate to its district.

- 7c) No roof pitch shall exceed 12:12.

### Windows

Refer to the *Types* section for examples of appropriate window placement, size, and divisions. New windows should be similar to original windows in muntin sizes, color, and spacing.

- 7d) Add 10 points for painted, wood windows.

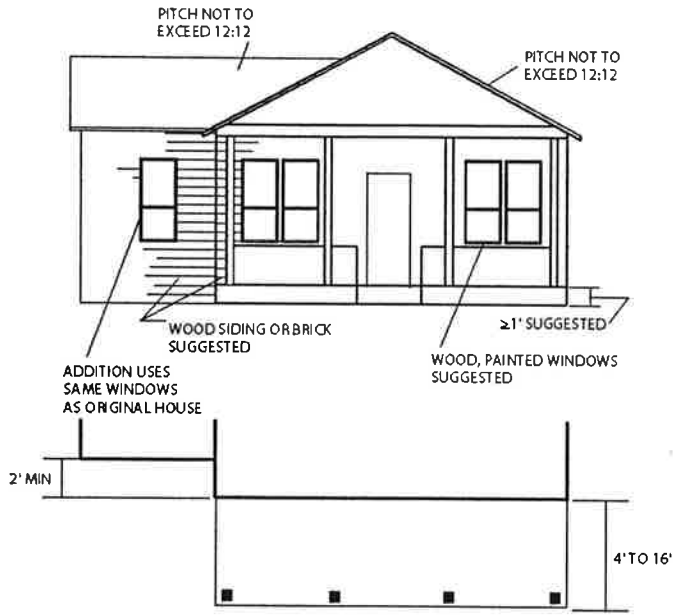
### Doors

Doors are encouraged to be of a similar type as others in the district.

### Materials

Natural materials, such as wood siding, brick, and stone are encouraged. The primary building of an accessory building should be the same as the building. Materials used in renovations should have similar texture, dimensions, and durability as the original materials.

- 7e) Add 10 points for the use of brick, wood siding, or stone as the primary materials on the building front.
- 7f) Add 10 points for the use of brick, wood siding, or stone as the primary building material on an addition or accessory structure.



## Architectural Elements

### Foundations

Conventional foundations are encouraged over slab-on-grade foundations.

- 7g) Add 10 points if the front entry and/or front porch is raised at least 1 foot above the ground.

### Additions

- 7h) Add 10 points if a side addition steps back at least 2 feet from the primary building front.

- 7i) Any addition must meet the setback requirements in section 1 and the height requirements in section 4.

### Demolition

Demolition of primary buildings within the district is discouraged unless the structure poses a threat to safety or health.

- 8a) Regardless of the new use of the property, the guidelines treat the area which was the front lot of the demolished primary building as the front lot.  
 8b) Buildings replacing demolished ones, regardless of use, must follow the guidelines in this document.

### Relocation

If a house is relocated to a vacant lot within the district, all guidelines still apply to the house and the property.

### Non-Residential Use

New buildings with non-residential use must still adhere to the guidelines for the Magazine District.

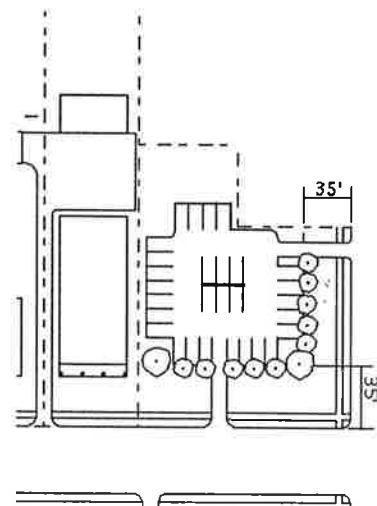
### Parking Lots

- 8c) If a property is used solely as a parking lot, all parking must occur at least 35 feet from the street.  
 8d) Entries may not be further than 4 feet from the side lot line.  
 8e) Entries may not exceed 10 feet in width until they are beyond the minimum setback of 35 feet.  
 8f) The area from the street to the parking lots must follow the landscaping guidelines in Section 5.  
 8g) The street edge of the parking lot should be screened with small, flowering trees such as crape myrtles or dogwoods, and/or tall, dense shrubs.

### Property Annexations

- 8h) If lots are acquired and become part of another property, the configuration of the acquired property must remain the same. For example, the front lot of a house that is purchased and demolished is still considered the front lot of that part of the property, and all front lot guidelines apply.

## 8) Site Use



# Mill Village District

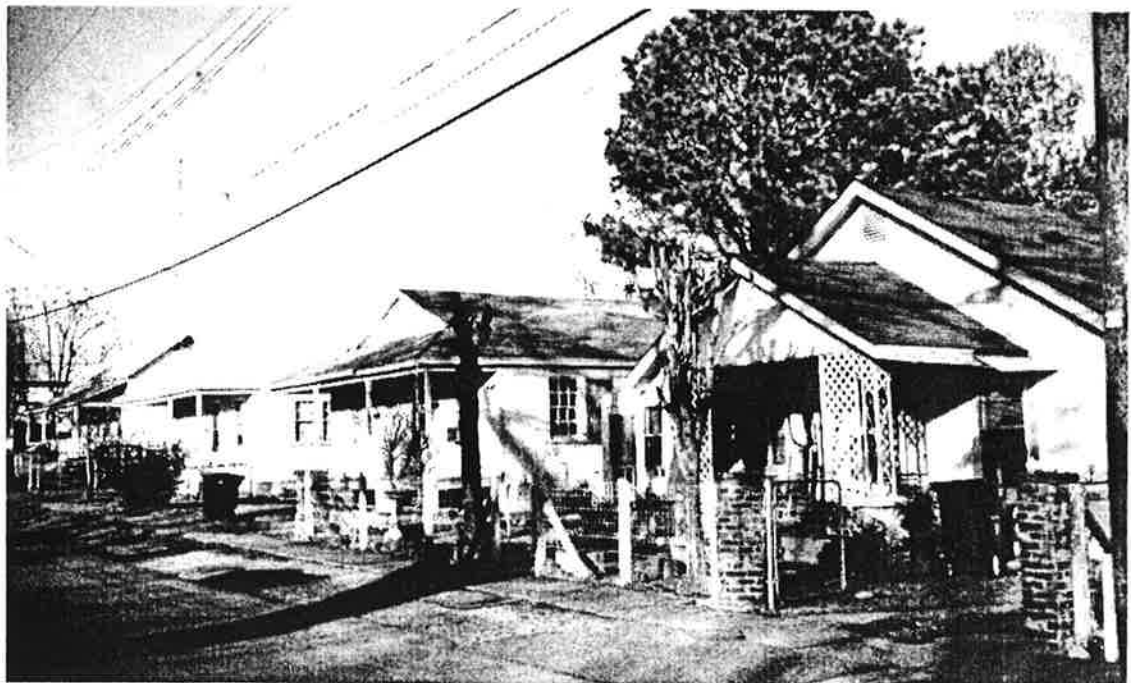
The Mill Village District is clearly bounded on the north by the Burlington-Northern Railroad, the south by Old Town Creek, the east by the old cotton mills, and the west by South Church Street. This district is easily recognized because of the strength of these boundaries and the number of landmarks surrounding the district such as the railroad tracks, mill buildings, and smokestacks to the east and west.

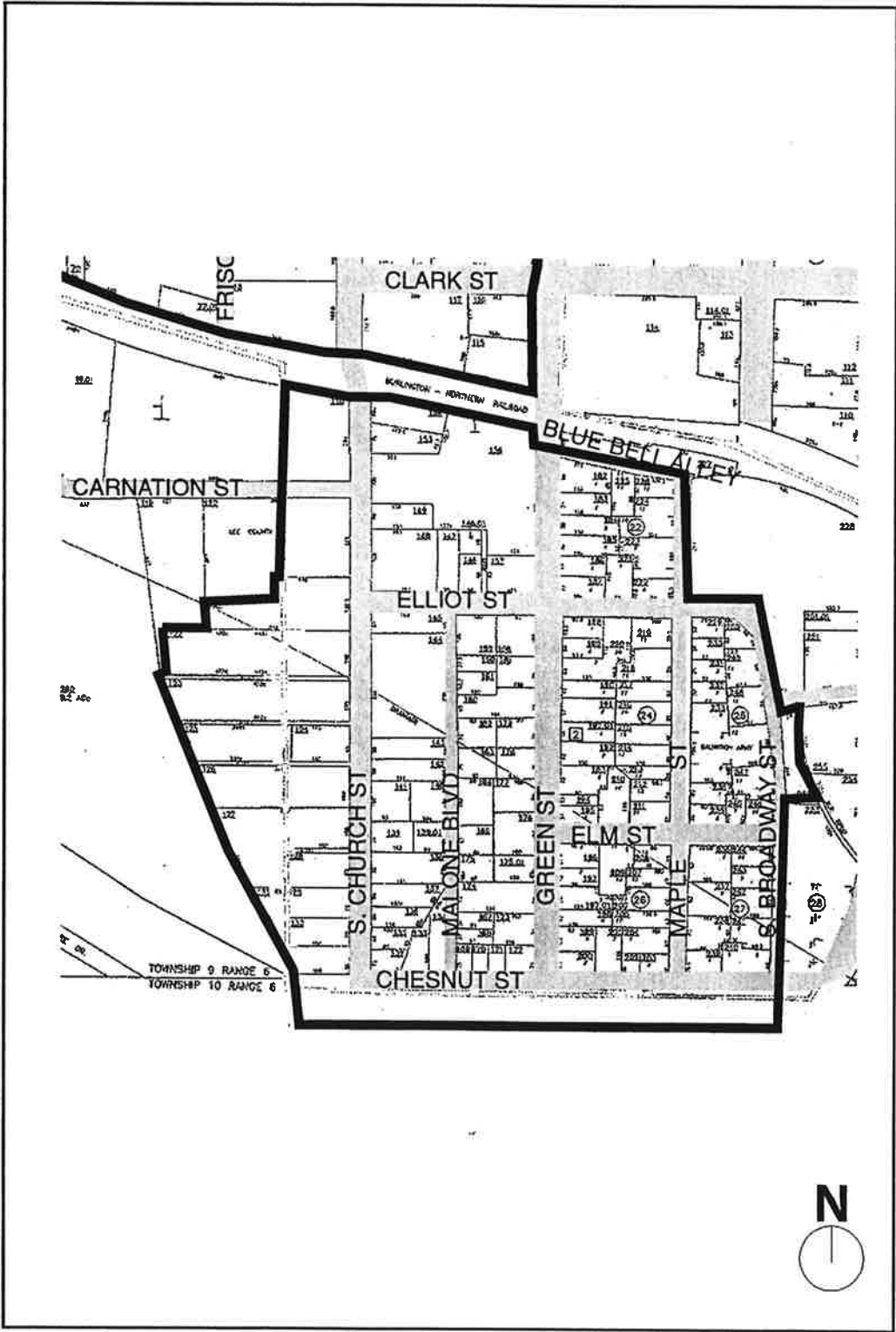
Internally, the two streets organizing the district are South Church Street and Green Street, both heavily travelled. On street parking should be encouraged on these streets to reduce traffic speed.

The building types in the district are very consistent. Most are small cottages and bungalows built by the mill owners for their workers. Most houses have a front porch as well. The building types on South Church Street are different from the rest of the district and are more related to the types on North Church.

The guidelines promote a more organized visual image to the streetscape. Consistent placement of parking pads and fencing will help to improve the streetscape greatly. The emphasis of the guidelines on front porches and visual access to the street allows visual surveillance by neighbors as well as allowing passerbys to see the architectural character of the housing.

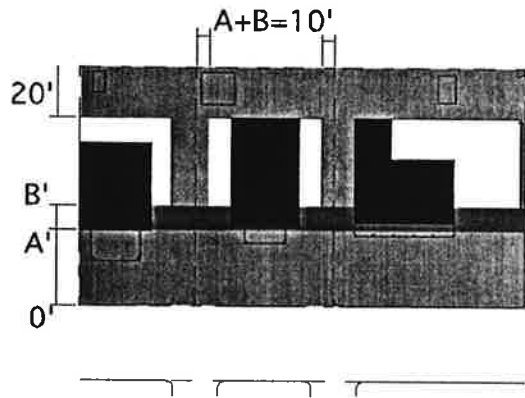
The Mill Village district has a great wealth of history and architectural character. The guidelines seek to preserve this heritage and promote greater consistency and organization to the streetscape.





**Boundaries of the Mill Village district.**  
 Map Source: Lee County Assessment Map, 1991.

# Mill Village District



## 1) Setbacks/Lot Width/Coverage

### Setbacks

- 1a) For streets other than South Broadway and South Church Street, the minimum front setback from the curb is 30 feet.
- 1b) For streets other than South Broadway and South Church Street, add 20 points for front setbacks between 30 and 40 feet.
- 1c) For South Broadway, the minimum front setback from the curb is 20 feet.
- 1d) For South Broadway, add 20 points for front setbacks between 20 and 30 feet.
- 1e) For South Church Street, the minimum front setback from the curb is 35 feet.
- 1f) For South Church Street, add 20 points for front setbacks between 35 and 45 feet.
- 1g) The two side setbacks must add up to at least 10 feet. The minimum side setback is one foot.
- 1h) The minimum distance between any structures is 10 feet.
- 1i) The minimum rear setback is 20 feet.

### Building Width

- 1j)  $\frac{\text{Width of Building Front}}{\text{Width of Lot}} \times 100 > 49$

### Coverage

$$\frac{\text{Area of Ground Floor} \times 100}{\text{Area of Lot}}$$

- 1k) Maximum building coverage including accessory buildings shall be 35% of the lot.
- 1l) Add 15 points for coverage between 15% and 25%

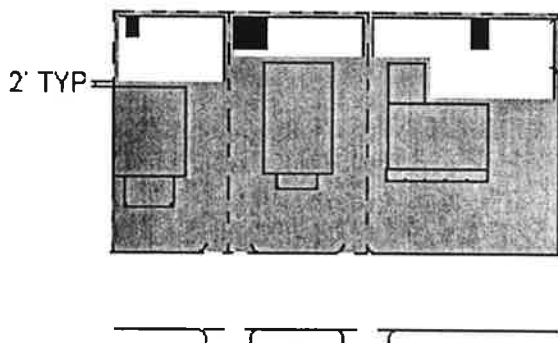
## 2) Accessory Buildings

### Placement

- 2a) Accessory buildings shall be located to the rear of the primary building.
- 2b) Accessory buildings shall be placed a minimum of 1 foot from the rear and side property lines.
- 2c) Accessory buildings must be placed 10 feet from any other structure.
- 2d) If an accessory building is placed within 5 feet of the principal building, it must conform to the yard requirements of the principal building.
- 2e) Accessory buildings on corner lots must be placed behind the building face oriented to the side street.

### Size

- 2f) The maximum size for a carport or garage is 500 square feet.
- 2g) Add 15 points for a living space above a carport or a garage.





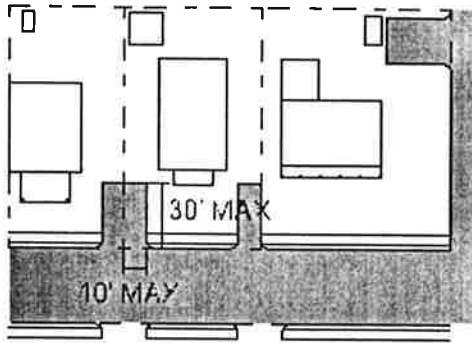
### 3) Parking/Driveways

#### Parking

- 3a) Parking may occur on parking pads.
- 3b) Street parking may occur on Green Street and Church Street.

#### Driveways

- 3c) Only one driveway is allowed for each house.
- 3d) *Add 25 points if two adjacent houses share a driveway.*
- 3e) Driveways may only be located to the side or rear of the house, no circular driveways are allowed.
- 3f) Driveways may not exceed 10 feet in width until they are behind the house.
- 3g) Driveways may not be further than 4 feet from the side lot line except for corner lots.
- 3h) Parking pads must be placed against the side property line and may not be more than 10 feet wide.
- 3i) A parking pad may be paired with a pad on the adjacent property.
- 3j) The depth of the pad cannot exceed 30 feet.



### 4) Building Heights

#### 1 Story

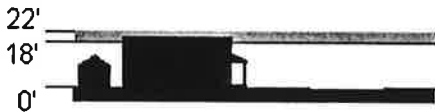
- 4a) 35 foot maximum height.
- 4b) *Add 15 points for heights between 18 and 22 feet.*

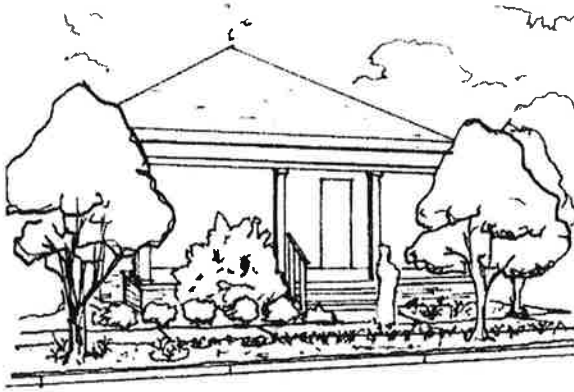
#### 1 1/2 Story

- 4c) 35 foot maximum height.
- 4d) *Add 15 points for heights between 18 and 22 feet.*

#### 2 Story

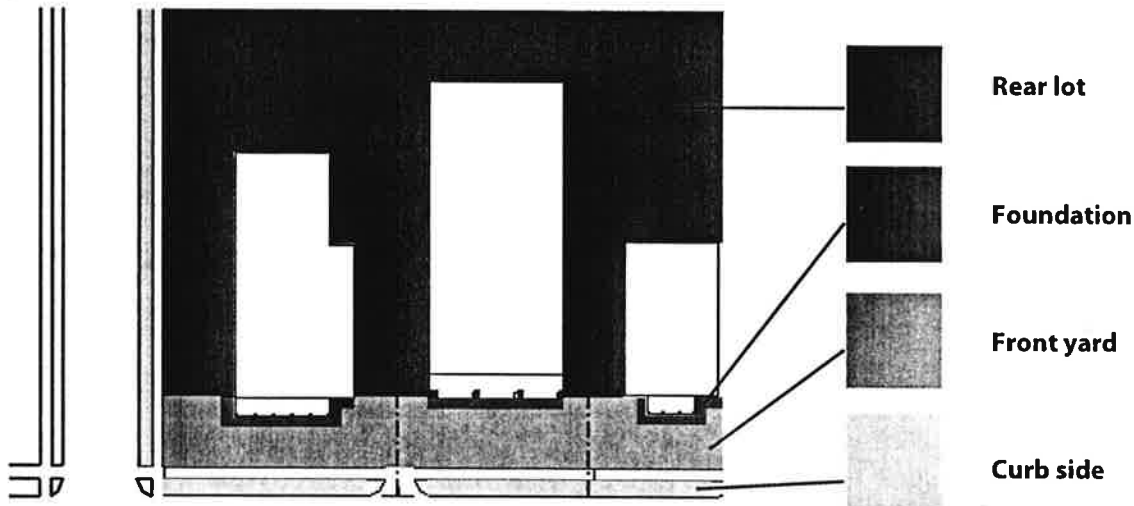
- 4e) Two story buildings are allowed only on Church Street.
- 4f) 35 foot maximum height.
- 4g) *Add 15 points for heights between 25 and 30 feet.*





## 5) Landscaping

Well maintained, appropriate landscaping contributes greatly to the character of a street or neighborhood. Landscaping includes grass, shrubbery, flowers, ground covers, and other natural elements. These guidelines divide lots into zones where different kinds of plant material is suggested.



### Rear Lot

No specific suggestions for density, species, and height.

- 5a) Add 5 points for planting two large shade trees such as oaks, elms, and maples.
- 5b) Add 5 points for planting vines along chain link fences.

### Foundation

This zone is about a six foot deep area on the front edge of the house. Shrubs and flower beds are encouraged here, but should not be so dense and tall that they cover most of the front of the house. Azaleas, boxwoods, camellia, jasmine, holly, and daylillies are some suggestions for plants in this part of the yard.

### Front Yard

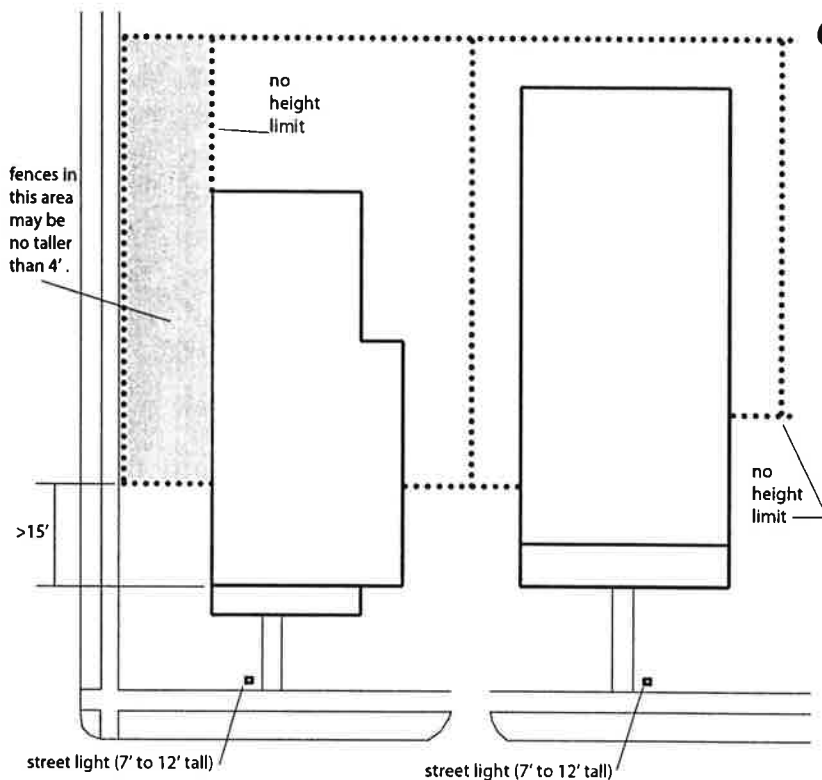
The front yard should be planted mostly with grass, but small amounts of low ground covers and shrubs may also be planted here. Small, flowering trees, such as birches, dogwoods, and crape myrtles, are recommended over large trees such as oaks and elms. Trees should be planted so that root growth does not damage the sidewalk. Magnolia trees are not recommended in the Mill Village district because their large, low canopies take up too much space in the yard. Flower beds, small shrubs, or ground covers should not be planted at the side property lines.

- 5c) No tree of a 8 inch or larger caliper should be removed from the front yard without approval from the planning department.
- 5d) Add 10 points for planting either two crape myrtles or dogwoods, or a row of shrubs such as azaleas or boxwoods along the sidewalk or 10' from the edge of the yard if a sidewalk doesn't exist. If either of these conditions already exist at the sidewalk, add 10 points.

### Curb Side

If at least two trees with an 8 inch or larger caliper exist, then no trees should be planted in this area. Planting flowers and/or low ground covers, such as monkey grass, is encouraged in this part of the yard.

- 5e) Add 5 points for planting two crape myrtles or dogwoods in this area.



## 6) Site Details

### Fences

- 6a) Fences may be placed in side lots at least 15 feet from the front of the house.
- 6b) Fences in the side lot area of corner lots must be no taller than 4 feet.
- 6c) No fences are allowed in the front lot.
- 6d) Add 5 points for painted, wood fencing.

### Walks

- 6e) Add 10 points for a paved walk, no more than 6 feet wide, from the entry to the sidewalk.

### Mail Slot / Box

- 6f) Provide a mail slot/box on the front of the house.

### Lighting

- 6g) If pedestrian scaled street lighting does not exist, add 15 points for a light (7 feet to 12 feet in height) located at the sidewalk.
- 6h) Add 15 points for a porch light.

## 7) Architectural Elements

### Type

Refer to the *Types* section for more information. Appropriate types for the Mill Village District are:

1a, 1b, 1c, 1e, 1f, 1g, 2b, 3d, 9

If a house does not fit a type, renovations or additions may be made so that the house then fits a type appropriate to the district.

- 7a) Add 35 points if a new building uses a type appropriate to the district.

### Front Porches

Original porch materials should be maintained. If the existing porch materials must be replaced, materials similar in size, texture, and color should be used. Porches enclosed with screen or glass are discouraged.

- 7b) If a new building does not use one of the appropriate types, add 20 points for a front porch with a width that comprises at least 40% of the front, and a depth of 4 feet to 16 feet.

### Roofs

New roofs should have the same pitch and form as the original roof. New roof materials should look like the original roofing materials.

Additions should have similar or related roof forms and materials.

Dormers should not be added to the front of the house, unless the house then fits a type appropriate to its district.

- 7c) No roof pitch shall exceed 12:12.

### Windows

Refer to the *Types* section for examples of appropriate window placement, size, and divisions. New windows should be similar to original windows in muntin sizes, color, and spacing.

- 7d) Add 5 points for painted, wood windows.

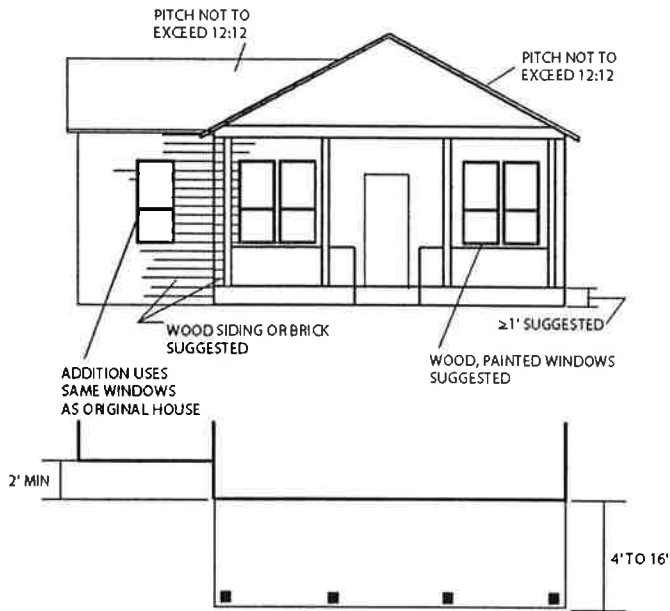
### Doors

Doors are encouraged to be of a similar type as others in the district.

### Materials

Natural materials, such as wood siding, brick, and stone are encouraged. On Madison Street, brightly painted brick or siding is suggested over darker colors. The primary building of an accessory building should be the same as the building. Materials used in renovations should have similar texture, dimensions, and durability as the original materials.

- 7e) Add 10 points for the use of brick, wood siding, or stone as the primary materials on the building front.
- 7f) Add 5 points for the use of brick, wood siding, or stone as the primary building material on an addition or accessory structure.



## Architectural Elements

### Foundations

Conventional foundations are encouraged over slab-on-grade foundations.

7g) Add 15 points if the front entry and/or front porch is raised at least 1 foot above the ground.

### Additions

7h) Add 10 points if a side addition steps back at least 2 feet from the primary building front.

7i) Any addition must meet the setback requirements in section 1 and the height requirements in section 4.

### Demolition

Demolition of primary buildings within the district is discouraged unless the structure poses a threat to safety or health.

- 8a) Regardless of the new use of the property, the guidelines treat the area which was the front lot of the demolished primary building as the front lot.
- 8b) Buildings replacing demolished ones, regardless of use, must follow the guidelines in this document.

### Relocation

If a house is relocated to a vacant lot within the district, all guidelines still apply to the house and the property.

### Non-Residential Use

New buildings with non-residential use must still adhere to the guidelines for the Mill Village District.

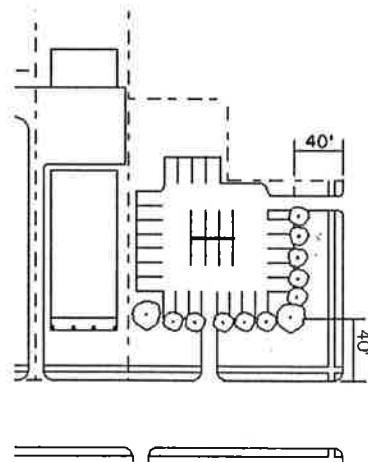
### Parking Lots

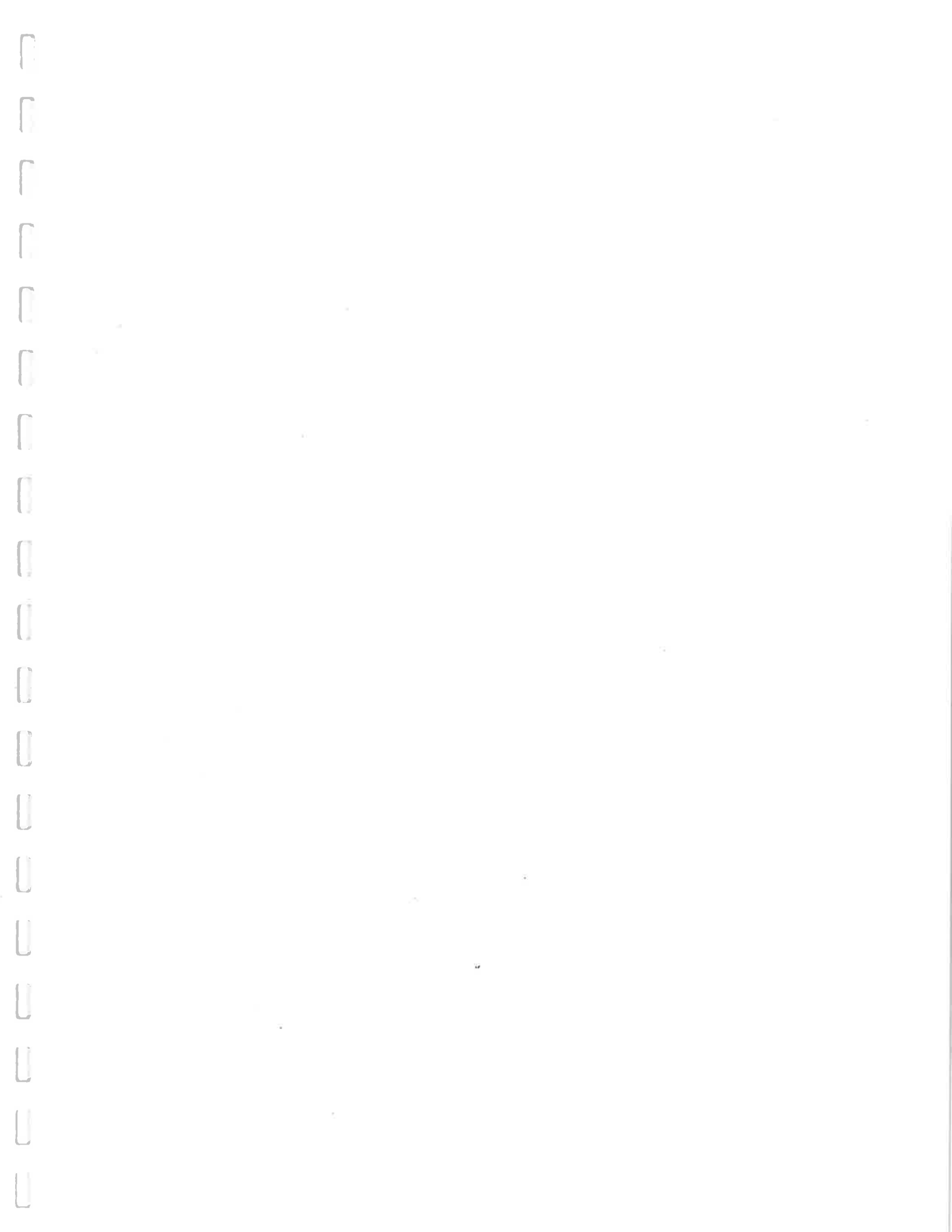
- 8c) If a property is used solely as a parking lot, all parking must occur at least 40 feet from the street.
- 8d) Entries may not be further than 4 feet from the side lot line.
- 8e) Entries may not exceed 10 feet in width until they are beyond the minimum setback of 40 feet.
- 8f) The area from the street to the parking lots must follow the landscaping guidelines in Section 5.
- 8g) The street edge of the parking lot should be screened with small, flowering trees such as crape myrtles or dogwoods, and/or tall, dense shrubs.

### Property Annexations

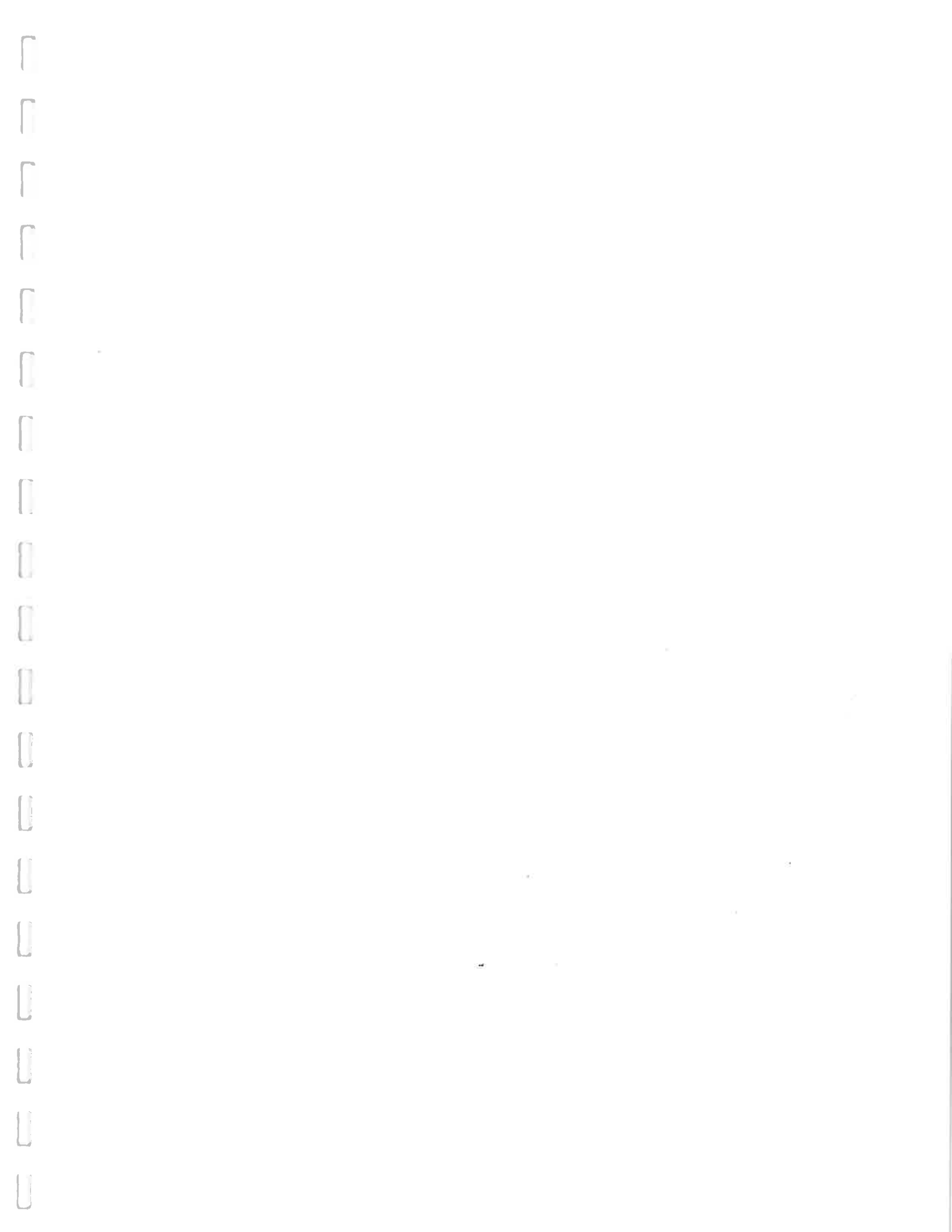
- 8h) If lots are acquired and become part of another property, the configuration of the acquired property must remain the same. For example, the front lot of a house that is purchased and demolished is still considered the front lot of that part of the property, and all front lot guidelines apply.

## 8) Site Use





# Design Guidelines



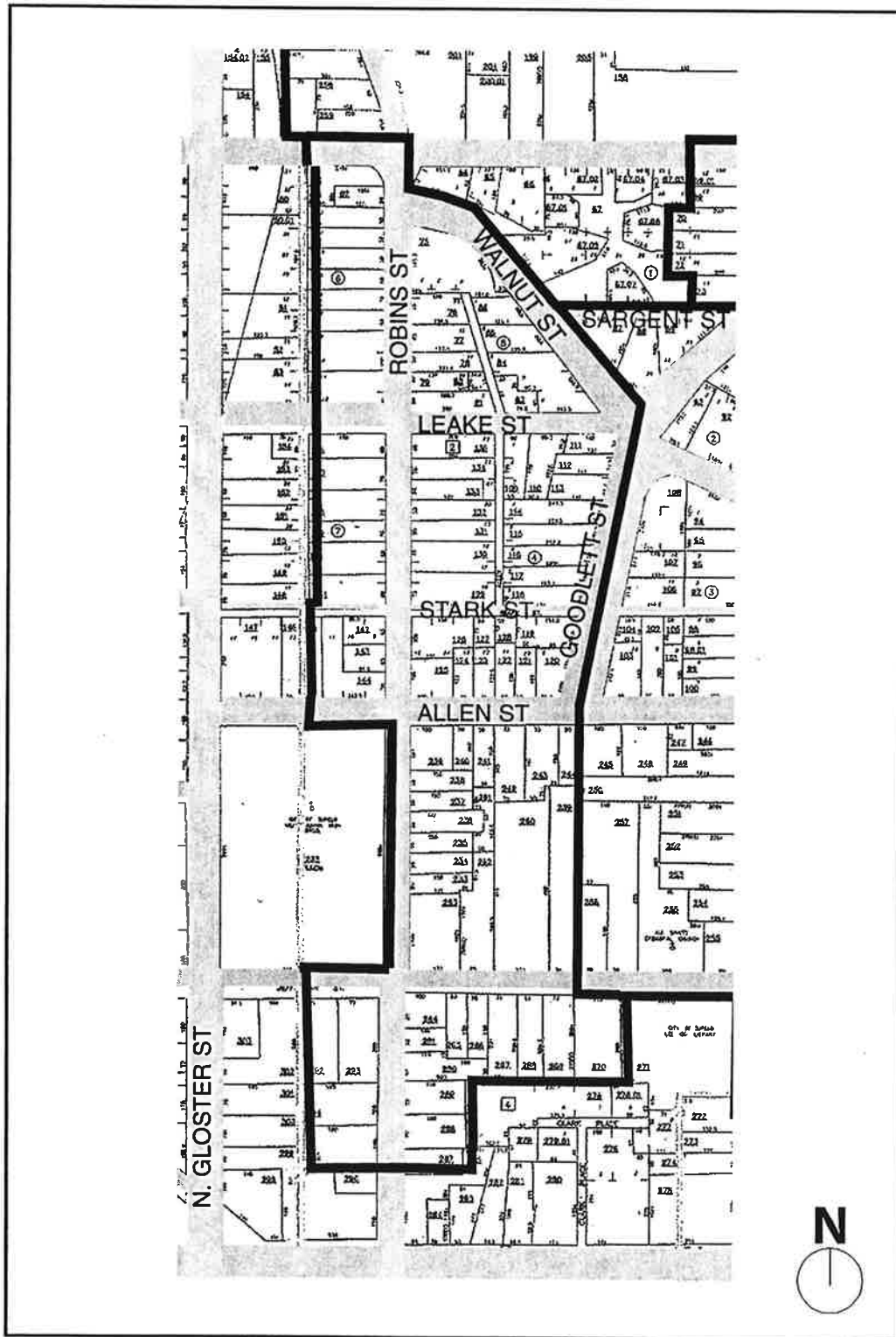
# Robins District

The Robins District is loosely bound by Main Street to the south, Jackson Street to the north, Gloster Street to the west and Goodlett Street to the east. The district is organized by Robins Street lined with magnificent trees. These trees are important visual landmarks for this district that must be conserved.

This district has a strong visual character due to the consistency of setback dimensions and building scale. For example, building setbacks vary by only five feet on Robins Street. While many different types of residences are in the district, the scale does not exceed one and a half stories, again visually unifying the street. Driveways are consistently to the side of the house with garages in the rear. The aim of the guidelines for this district is to maintain this consistency and visual character.



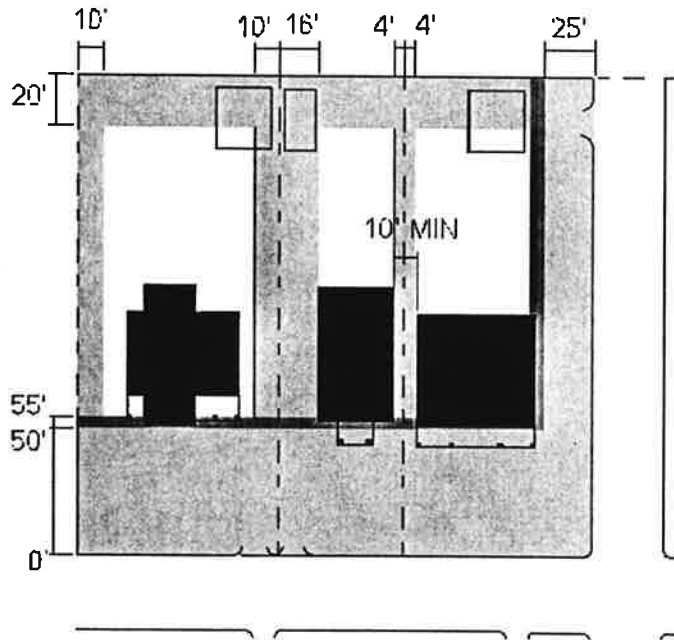




**Boundaries of the Robins district.**

Map Source: Lee County Assessment Map, 1991.

# Robins District



## 1) Setbacks/Lot Width/Coverage

### Setbacks

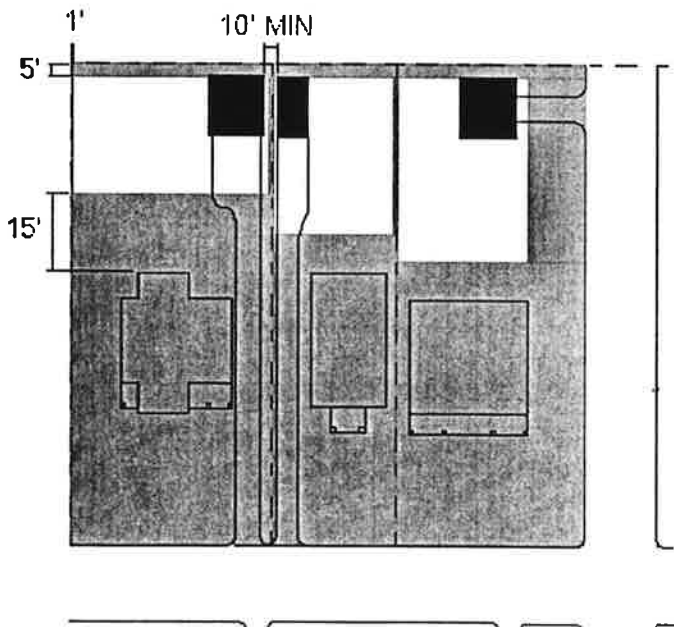
- 1a) Minimum front setback measured from the curb is 50 feet.
- 1b) Add 30 points for setbacks to the main street between 50 and 55 feet.
- 1c) Setback on a corner lot to a side street is 25 feet minimum.
- 1d) The two side setbacks must add up to at least 20 feet with a minimum of a 4 foot side yard and a minimum of 10 feet in between buildings.

### Building Width

- 1e)  $\frac{\text{Width of Building Front}}{\text{Width of Lot}} \times 100 > 49$

### Coverage

- 1f) Maximum building coverage including accessory buildings shall be 35% of the lot.



## 2) Accessory Buildings

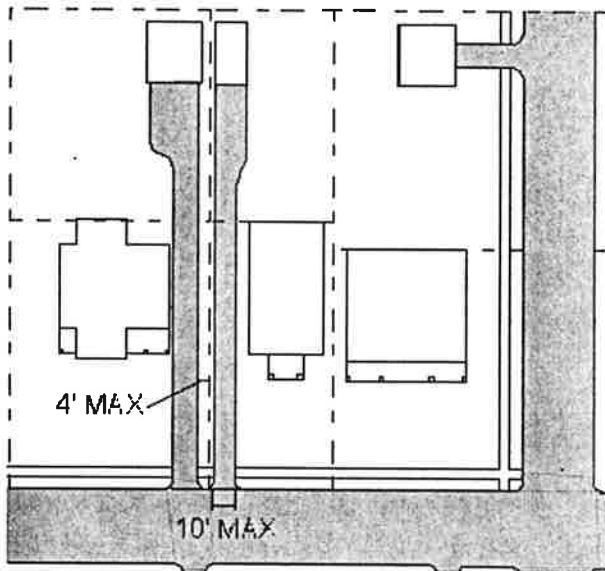
### Placement

- 2a) Accessory buildings shall be located to the rear of the primary building.
- 2b) Accessory buildings shall be placed a minimum of 1 foot from the side property line and 5 feet from the rear property line.
- 2c) Accessory buildings must be placed 10 feet from any other structure.
- 2d) If an accessory building is placed within 15 feet of the principal building, it must conform to the yard requirements of the principal building.
- 2e) Accessory buildings on corner lots must be placed behind the face of the building oriented to the side street.

### Size

- 2f) The maximum size for a carport or garage is 500 square feet.
- 2g) Add 10 points for a living space above a carport or garage.

### 3) Parking/Driveways



#### Parking

- 3a) May occur to the rear of the house.
- 3b) Parking in the front yard area is not allowed.

#### Driveways

- 3c) Only one driveway is allowed for each house.
- 3d) Add 10 points if two adjacent houses share a driveway.
- 3e) Driveways may only be located to the side or rear of the house.
- 3f) No circular drives are allowed.
- 3g) Driveways may not exceed 10 feet in width until they are behind the house.
- 3h) Driveways may not be further than 4 feet from the side lot line except for corner lots.

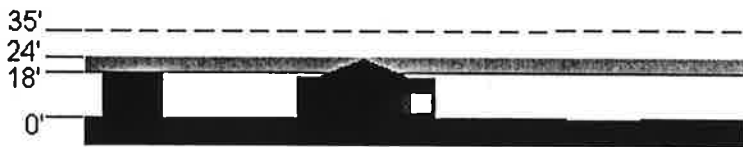
### 4) Building Heights

#### 1 Story

- 4a) 35 foot maximum height.
- 4b) Add 20 points for heights between 18 and 24 feet.

#### 1 and 1/2 Story

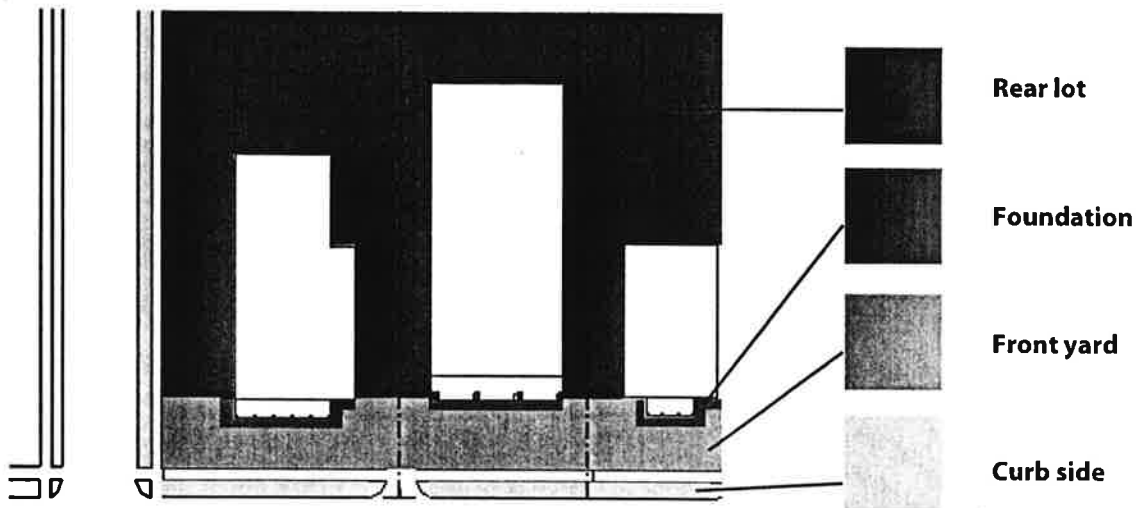
- 4c) 35 foot maximum height.
- 4d) Add 20 points for heights between 18 and 24 feet.





## 5) Landscaping

Well maintained, appropriate landscaping contributes greatly to the character of a street or neighborhood. Landscaping includes grass, shrubbery, flowers, ground covers, and other natural elements. These guidelines divide lots into zones where different kinds of plant material are suggested.



### Rear Lot

No specific suggestions for density, species or height.

### Foundation

This zone is about a six foot deep area on the front edge of the house. Shrubs and flower beds are encouraged here, but should not be so dense and tall that they cover most of the front of the house. Azaleas, boxwoods, camellia, jasmine, holly, and daylillies are some suggestions for this part of the yard. Small flowering trees, such as crape myrtles and birches are also appropriate.

### Front Yard

The front yard should be planted mostly with grass, but small amounts of low ground covers and shrubs may also be planted here. On Robins street, planting small, flowering trees such as dogwoods, birches and crape myrtles in this area is recommended over planting large caliper trees such as oaks, elms, and ashes. On all other streets in the Robins district, flowering trees and large shade trees are appropriate in the front yard. Trees should be planted so that root growth does not damage the sidewalk. If magnolia trees are planted, they should be placed toward a side property line, so that they do not block the front of the house. Flowers, small shrubs, and ground covers are encouraged at the side property lines. Flowers and low ground covers such as monkey grass are suggested along the sidewalk.

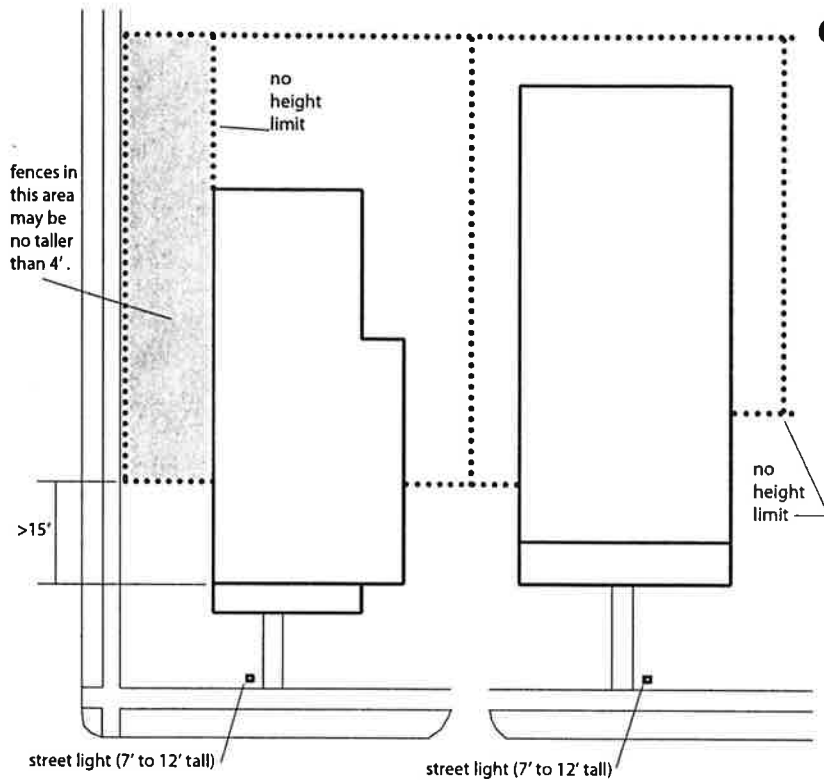
5a) No tree of an 8 inch or larger caliper shall be removed from the front yard without approval from the planning department.

5b) Add 10 points for planting at least one flowering tree in the front yard, or if at least one tree already exists.

### Curb Side

If at least two trees with an 8 inch or larger caliper exist, then no trees should be planted in this area. Planting flowers and/or low ground covers, such as monkey grass, is encouraged in this part of the yard.

5c) No tree of an 8 inch or larger caliper shall be removed without approval from the planning department.



## 6) Site Details

### Fences

- 6a) Fences may be placed in side lots at least 15 feet from the front of the house.
- 6b) Fences in the side lot area of corner lots must be no taller than 4 feet.
- 6c) No fences are allowed in the front lot.
- 6d) Add 5 points for painted, wood fencing.

### Walks

- 6e) Add 5 points for a paved walk, no more than 6 feet wide, from the entry to the sidewalk.

### Mail Slot / Box

- 6f) Provide a mail slot/box on the front of the house.

### Lighting

- 6g) If pedestrian scaled street lighting does not exist, add 10 points for a light (7 feet to 12 feet in height) located at the sidewalk.
- 6h) Add 5 points for a porch light.

## 7) Architectural Elements

### Type

Refer to the *Types* section for more information.

Appropriate types for the Robins District are:

1a, 1b, 1c, 1d, 1e, 1g, 2b, 2d, 3a, 3c, 3d, 9 (type 9 on Allen Street only)

If a house does not fit a type, renovations or additions may be made so that the house then fits a type appropriate to the district.

- 7a) Add 35 points if a new building uses a type appropriate to the district.

### Front Porches

Original porch materials should be maintained. If the existing porch materials must be replaced, materials similar in size, texture, and color should be used. Porches enclosed with screen or glass are discouraged.

- 7b) If a new building does not use one of the appropriate types, add 20 points for a front porch with a width that comprises at least 40% of the front, and a depth of 4 feet to 16 feet.

### Roofs

New roofs should have the same pitch and form as the original roof. New roof materials should look like the original roofing materials.

Additions should have similar or related roof forms and materials.

Dormers should not be added to the front of the house,

unless the house then fits a type appropriate to its district.

- 7c) No roof pitch shall exceed 12:12.

### Windows

Refer to the *Types* section for examples of appropriate window placement, size, and divisions. New windows should be similar to original windows in muntin sizes, color, and spacing.

- 7d) Add 5 points for painted, wood windows.

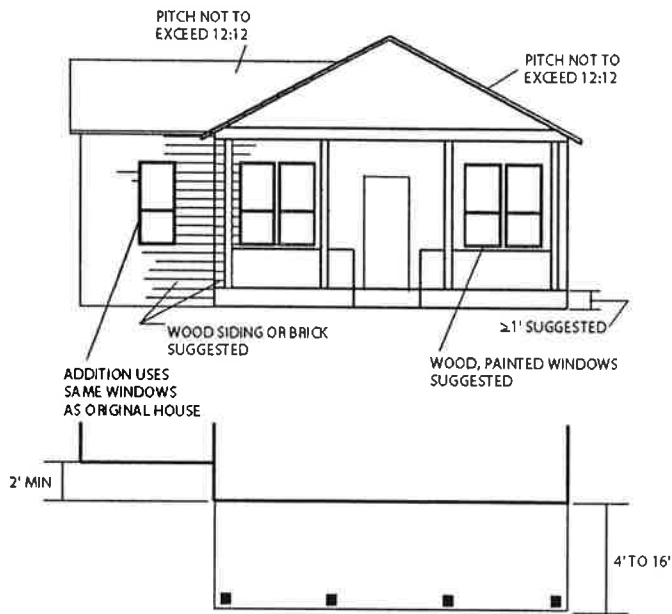
### Doors

Doors are encouraged to be of a similar type as others in the district.

### Materials

Natural materials, such as wood siding, brick, and stone are encouraged. The primary building of an accessory building should be the same as the building. Materials used in renovations should have similar texture, dimensions, and durability as the original materials.

- 7e) Add 15 points for the use of brick, wood siding, or stone as the primary materials on the building front.
- 7f) Add 10 points for the use of brick, wood siding, or stone as the primary building material on an addition or accessory structure.



## Architectural Elements

### Foundations

Conventional foundations are encouraged over slab-on-grade foundations.

- 7g) Add 10 points if the front entry and/or front porch is raised at least 1 foot above the ground.

### Additions

- 7h) Add 10 points if a side addition steps back at least 2 feet from the primary building front.
- 7i) Any addition must meet the setback requirements in section 1 and the height requirements in section 4.

### Demolition

Demolition of primary buildings within the district is discouraged unless the structure poses a threat to safety or health.

- 8a) Regardless of the new use of the property, the guidelines treat the area which was the front lot of the demolished primary building as the front lot.
- 8b) Buildings replacing demolished ones, regardless of use, must follow the guidelines in this document.

### Relocation

If a house is relocated to a vacant lot within the district, all guidelines still apply to the house and the property.

### Non-Residential Use

New buildings with non-residential use must still adhere to the guidelines for the Robins District.

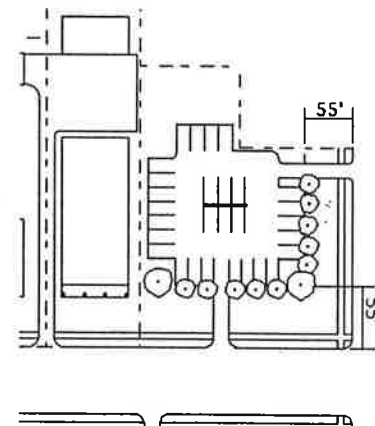
### Parking Lots

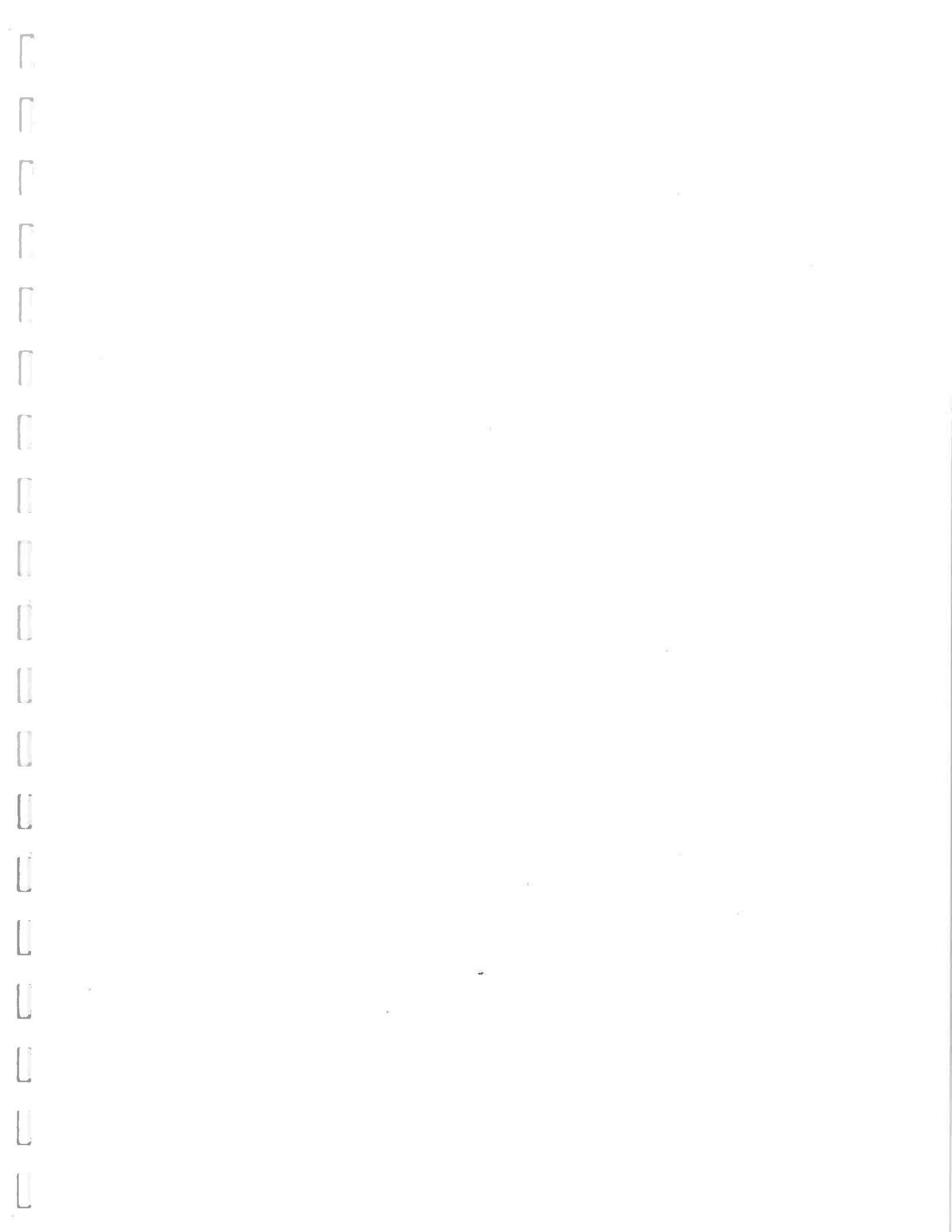
- 8c) If a property is used solely as a parking lot, all parking must occur at least 55 feet from the street.
- 8d) Entries may not be further than 4 feet from the side lot line.
- 8e) Entries may not exceed 10 feet in width until they are beyond the minimum setback of 55 feet.
- 8f) The area from the street to the parking lots must follow the landscaping guidelines in Section 5.
- 8g) The street edge of the parking lot should be screened with small, flowering trees such as crape myrtles or dogwoods, and/or tall, dense shrubs.

### Property Annexations

- 8h) If lots are acquired and become part of another property, the configuration of the acquired property must remain the same. For example, the front lot of a house that is purchased and demolished is still considered the front lot of that part of the property, and all front lot guidelines apply.

## 8) Site Use





# Types

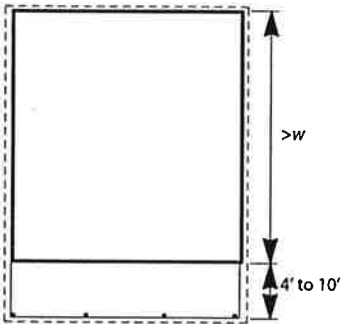
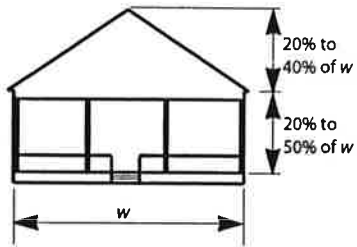


# Types

This section identifies and describes the predominate housing types in the downtown district. For each housing type, guidelines are given for appropriate form, roof characteristics, and proportions. A range of proportions as well as some options to the formal characteristics of each type are given so that there is a degree of flexibility allowed in a new design. New buildings are not required to model any of the types included in this section, but points will be awarded if a new building models a type appropriate in its district. If a new building does model one of the included types, the guidelines proposed for that type must be followed to receive the points. New buildings, whether they model an existing type or not, must follow the *Architectural Elements* guidelines proposed for each subdistrict.



# 1a

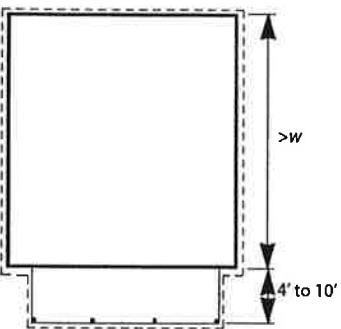
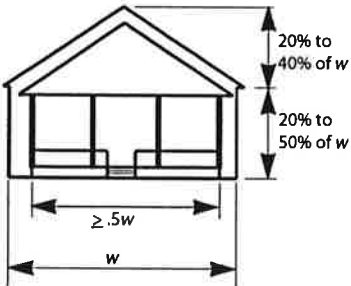


**One story, symmetrical front gable. Porch spans the entire front.**

Appropriate in: *Madison, Robins, Church, Mill Village, and Magazine* districts.



# 1b

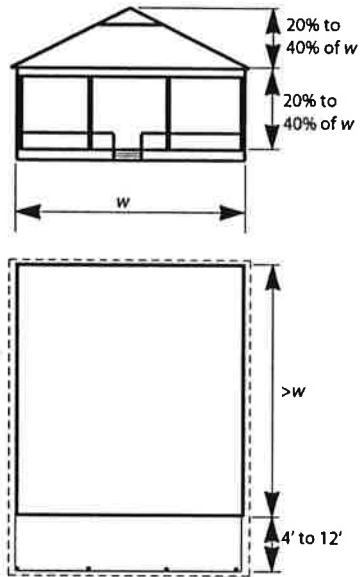


**One story, front gable. The porch roof is separate from the house roof, but has the same pitch. The porch is centered on the front.**

Appropriate in: *Madison, Robins, Church, Mill Village, and Magazine* districts.



# 1c

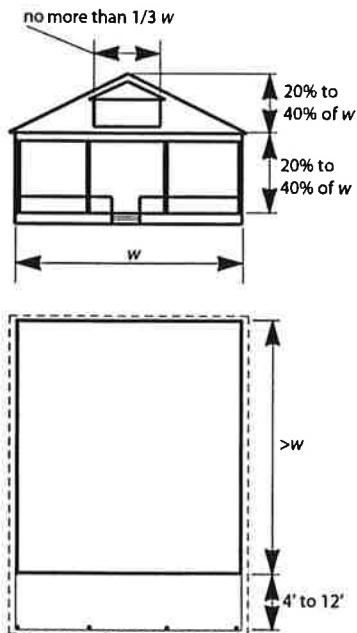


**One story, hipped roof. Porch occurs under main roof, and may extend on the sides. A partial gable may exist at the top of the roof form.**

Appropriate in: *Madison, Robins, Church, Highland, Mill Village, and Magazine* districts.



# 1d

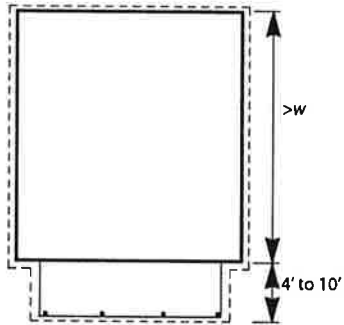
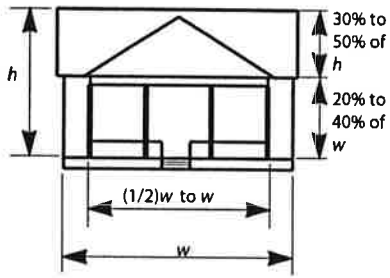


**One story, hipped roof. Porch occurs under main roof form, and may extend on the sides. A single dormer is centered on the roof.**

Appropriate in: *Madison, Robins, Church, Highland, and Mill Village (S. Church St. only)* districts.



# 1e

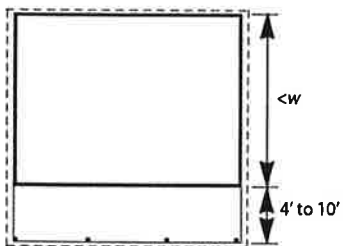
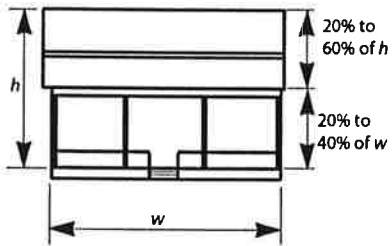


**One story, side gable with centered cross gable. The cross gable may be part of the main roof form, or a separate mass. The porch occurs under the cross gable. The porch should be at least half the width of the front of the house.**

*Appropriate in: Madison, Robins, Church, Highland, Mill Village, and Magazine districts.*



# 1f

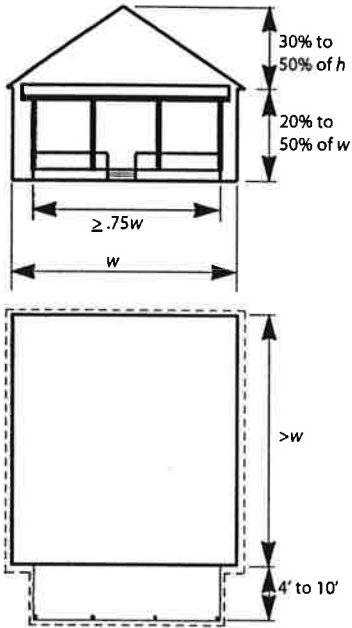


**One story, with side gable or hipped roof. A shed roof over the porch is attached to the main house. The porch roof pitch must be equal to or less than the main roof pitch.**

*Appropriate in: Mill Village and Magazine districts.*



# 1g

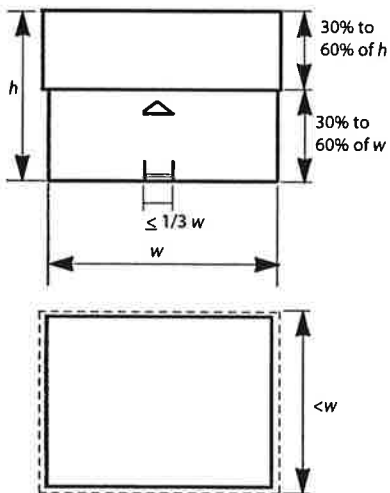


**One story, front gable or hipped roof. The porch has a shed roof separate from the house roof. If the house roof is hipped, the pitch of the shed porch roof must be less than or equal to the pitch of the house roof.**

Appropriate in: *Madison, Robins, Church, Mill Village, and Magazine* districts.



# 2a

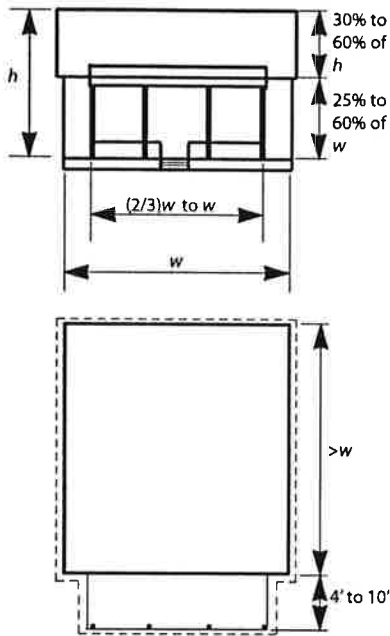


**One story, side gable with no porch. An entry hood or portico may exist but cannot comprise more than 1/3 of facade width.**

Appropriate in: *Highland* district only.

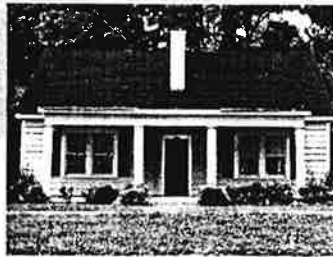


## 2b

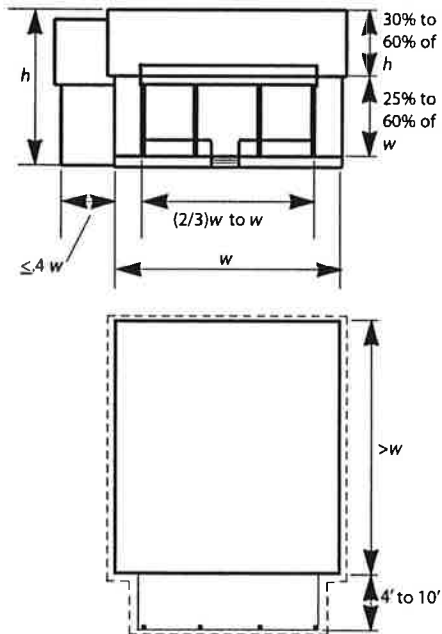


**One story, side gable with porch either under the main roof or as a shed attachment to the house. If the porch is attached, the shed roof should have a pitch no greater than 4:12.**

Appropriate in: *Madison, Robins, Church, Highland, Mill Village, and Magazine* districts.



## 2c

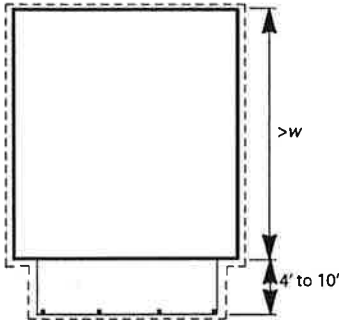
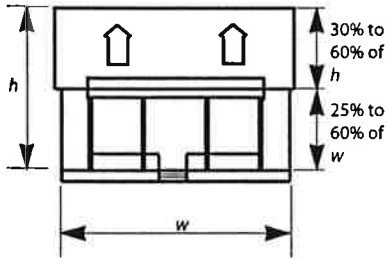


**One story, side gable. The porch may occur under the main roof or under a shed roof attached to the house. If the porch is attached, the pitch of the shed roof should be no greater than 4:12. Pavilions may occur to one or both sides. The roofs of the pavilions should be side gables with the same pitch as the house roof.**

Appropriate in: *Church and Highland* districts.



## 2d

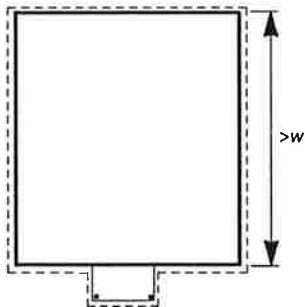
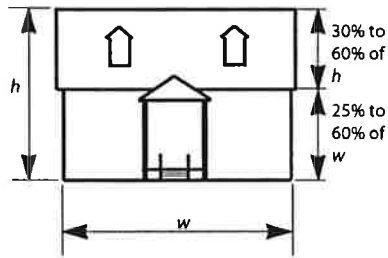


**One and a half stories, side gable with 2 to 3 dormers. Porch may be under main roof, or a shed attachment to main roof (pitch not to exceed 4:12).**

Appropriate in: *Madison, Robins, Church, and Highland* districts.



## 2e



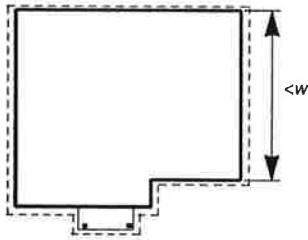
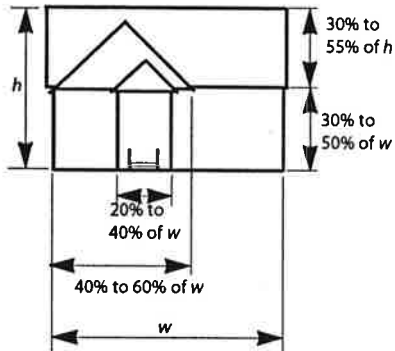
**One and a half stories, side gable with 2 to 3 dormers. A portico or entry hood may occur over central entry.**

Appropriate in: *Highland* district only.





### 3a

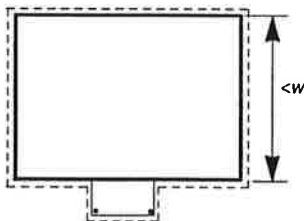
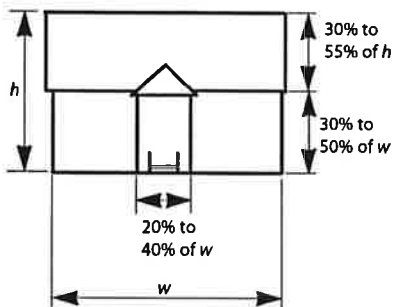


One to one and a half story side gable or hip with main cross gable and/or a secondary cross gable. The main cross gable should be from 40% to 60% of the front. The secondary cross gable should be 20% to 40% of the front. The cross gables should have equal pitches. The placement of the cross gables on the facade is not restricted. A porch should exist, either under the main side gable or hip form, and/or under one or both of the cross gables.

Appropriate in: *Madison, Robins, Church, and Highland* districts.



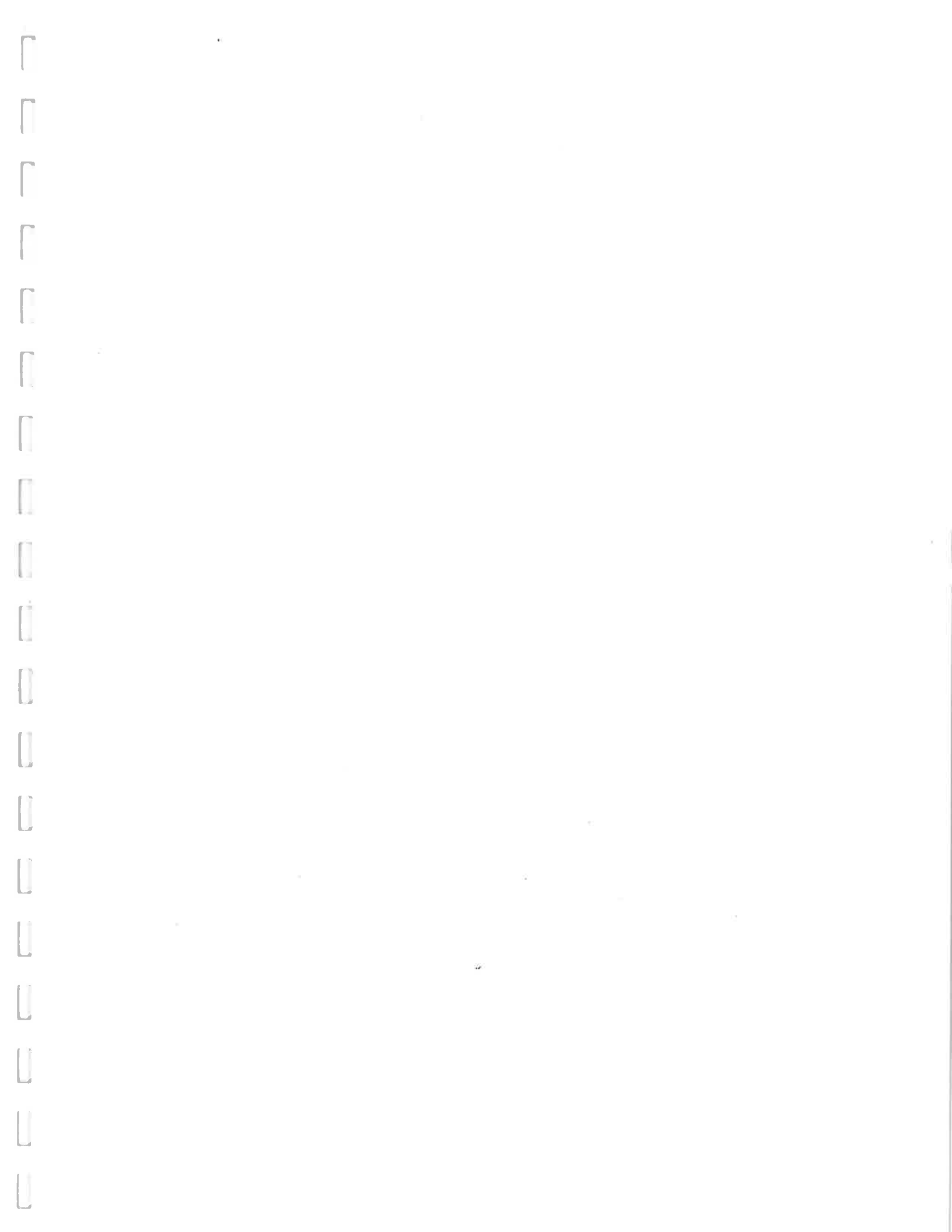
### 3b



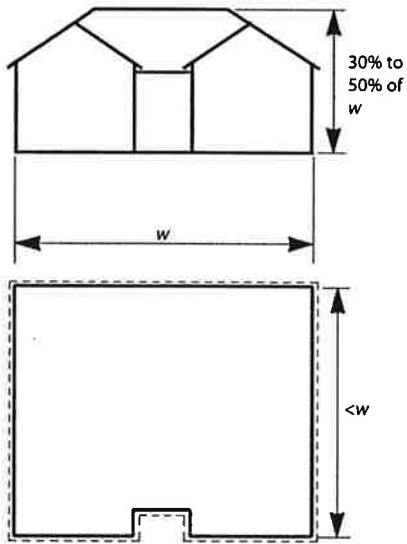
One story cross gable or hip with small cross gable over central entry.

Appropriate in: *Madison, Robins, Church, and Highland* districts.





### 3e

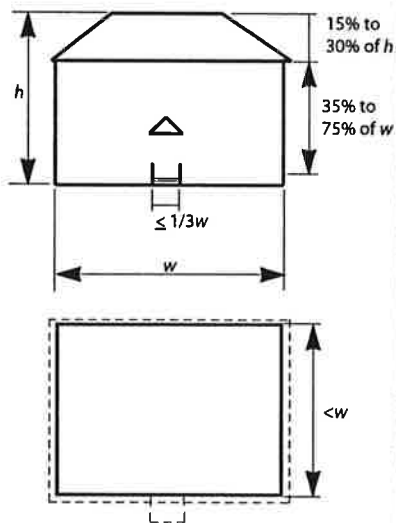


**One to one and a half story hipped roof with cross gable on both sides. Cross gables have same pitch as main roof.**

Appropriate in: *Church and Highland* districts.



### 4a

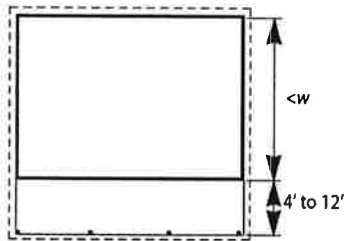
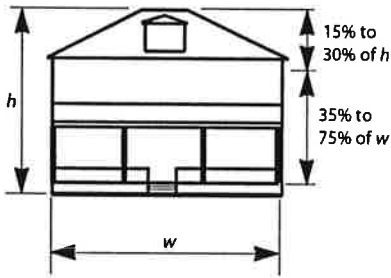


**Two story, symmetrical facade with side gable or hipped roof. May include entry hood or portico over the central entry at the first floor level. The width of the entry hood or portico should not exceed 1/3 of the entire front.**

Appropriate in: *Highland* district only.



# 4b

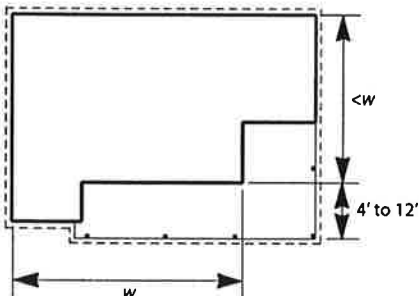
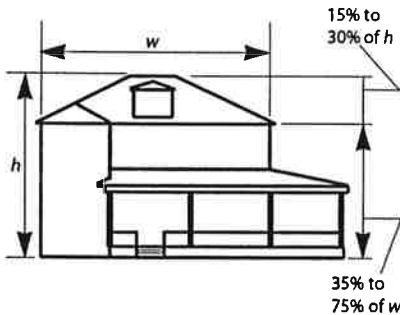


**Two to two and a half story facade with hipped or side gabled roof. May include a single, centered dormer (dormer width may not exceed 1/3 of the front). A full length, one story porch is attached to house. The porch may be a shed or hip roof.**

Appropriate in: *Highland, Mill Village (S. Church Street only), and Magazine districts.*



# 4c

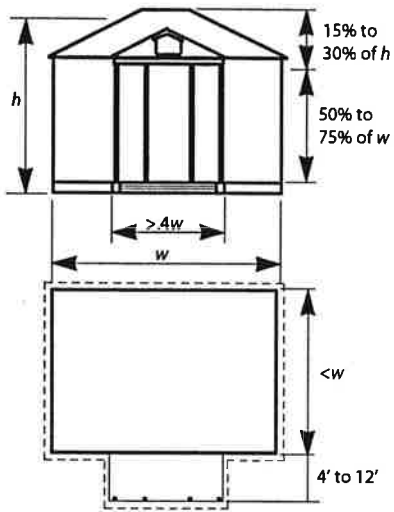


**Two to two and a half stories, hipped roof, sometimes with a dormer (dormer width not to exceed 1/3 width of the front facade). A one story, hipped roof porch wraps around one corner of the house. Several parts may make up the house, but their roofs must all have the same pitch.**

Appropriate in: *Highland, Mill Village (S. Church Street only), and Magazine districts.*



# 5

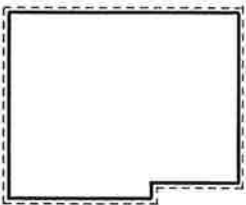
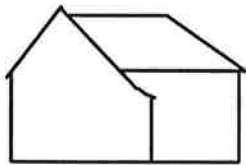


**Two to two and a half story facade with centered portico. Columns rise two stories. Roof of portico either front gable or hip, sometimes with a single dormer.**

Appropriate in *Madison (Jefferson Street Only), Church, Highland, Magazine, and Mill Village (S. Church Street only)* districts.



# 6

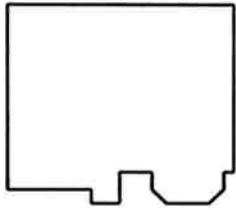
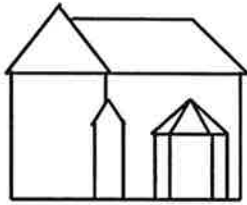


**Two to two and a half story front. the main part of the house has a gabled or hip roof parallel to the street. Another gabled part, with the front door, is placed perpendicular to the street. This perpendicular part has a bell-casted roof.**

Appropriate in: *Highland* district only.



# 7

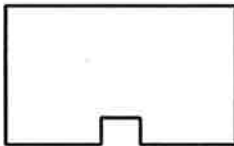
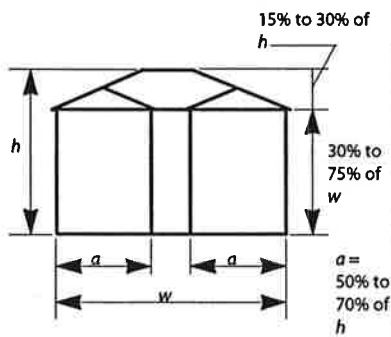


**Two to two and a half story, asymmetrical facade. Main mass of house is under a hipped or side gable roof. Additional pieces such as turrets or entry vestibules are common.**

Appropriate in: *Highland* district only.



# 8

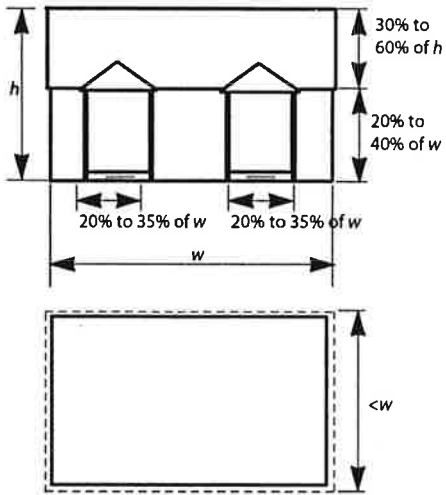


**Two story, symmetrical facade. The building is 'U' shaped with lower roofs at the legs of the 'U'. The roofs are either gabled or hipped. This type may be used for multi-family dwellings only.**

Appropriate in: *Madison (Jefferson Street only), Church (Jefferson Street only), Mill Village (S. Church Street only), and Magazine* districts.



# 9



**One to one and a half story side gable with two equal cross gables, symmetrically placed.**

Appropriate in: *Madison, Robins (Allen Street only), Church, Mill Village, and Magazine* districts.



# Application Form



# Application Form

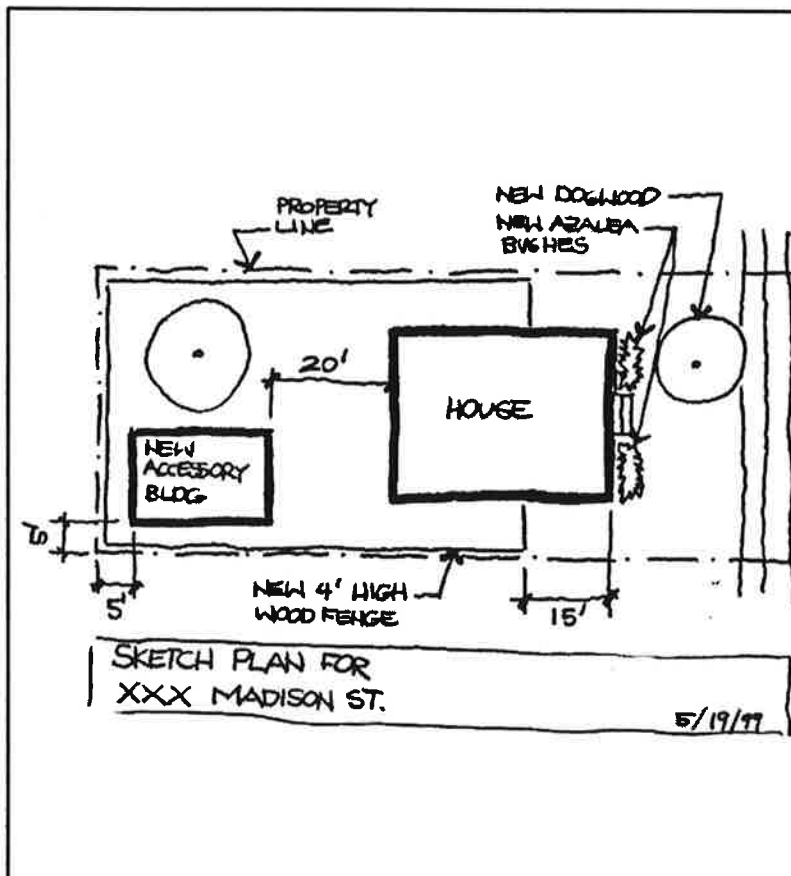
## Who must apply?

Any property owner in the historic downtown conservation overlay district that is planning a significant change to the exterior of their property, including additions, renovations, outbuildings, driveways or landscape elements. Any owner planning to build on previously undeveloped property or property cleared by demolition must also apply. Consult the guidelines in your district for the categories and extent of the guidelines.

## The process

The application process is designed so that the owner can immediately see if their proposal is not appropriate and change their proposal before any review by the authorities. While some regulations are strictly enforced, others are based on a point system, which allows flexibility in the use of the guidelines. The passing grade for a new primary building is one hundred (100) points. Passing grades for other projects are indicated in the "Points" section on the next page.

The process begins with the owner reading through this booklet and filling out the application form. Booklets are available from the Department of Planning in Tupelo for a fee. The application form is returned to the Department of Planning for review by the Department. If the application is approved, the Department will issue a certificate of appropriateness allowing the owner to begin the work or continue with the permitting process, depending on the nature of the work. If an application is denied, the applicant may revise and reapply, or appeal to the Design Review Board that meets on a quarterly basis.



## Sketch Plans

The plans asked for in this application do not need to be drafted by architects or other design professionals. A simple sketch as shown on the left will do for small changes. Several items can be shown on one sketch. The example shows the placement of an outbuilding, addition of a fence, and landscaping. For large additions or new buildings, the city zoning code requires more elaborate drawings. Check with the planning office for guidance.

The plan sketches should be made at a drawing scale which is clear and legible. One inch equals twenty feet is a good overall scale. For a more detailed look, one inch equals ten feet is better.

Clearly label what is proposed and what is existing on your sketch. A sketch that is not clearly drawn and labeled will cause confusion when reviewed and delay the review of your project.

# Application Form

Address of Building/Lot \_\_\_\_\_

Nature of Change \_\_\_\_\_

Owner's Name(s) \_\_\_\_\_

Address \_\_\_\_\_

City/Zip \_\_\_\_\_

Daytime Phone \_\_\_\_\_

I certify that all the statements made in this application are true to the best of my knowledge.

Signature & Date \_\_\_\_\_

## Directions

- Step 1 Make a sketch of your proposal on the graph paper provided on the next page. (See the sidebar entitled "Sketch Plans").
- Step 2 Find the subdistrict your property is located in by looking at the maps in the "Boundaries" chapter or at the maps at the beginning of each subdistrict section.
- Step 3 Read through the subdistrict guidelines and answer each of the numbered points in the guidelines. Use the "Checklist" page following. If the guideline does not apply to your proposal, mark the "Not Applicable" column. (See the "Points" sidebar.) If your proposal meets the guideline, mark the "Appropriate" column. Guidelines in *italics* have point values. If your proposal meets the italicized guidelines, transfer the point value to the "Points Earned" column on the checklist.
- Step 4 Total the point values. See the "Points" side bar to find the number of points required for your proposal.

### Points

Use the chart below to determine which guidelines to follow. If you are proposing more than one category, a new accessory building and a new driveway for example, the guidelines for both apply. You may earn *points* from *any section*, regardless of your proposal. For example, if you are proposing a new accessory building, you may earn points for that accessory building, or for landscaping, using natural materials, etc.

#### New House

Read through and fill out sections 1 through seven. 100 points are required and all applicable numbered guidelines must be "appropriate."

#### New Accessory Building

Read through and fill out section 2. All applicable numbered guidelines must be "appropriate." 10 points are required.

#### New Parking/Driveways

Read through and fill out section 3. All applicable numbered guidelines must be "appropriate." 5 points are required.

#### New Landscaping

Read through and fill out section 5. All applicable numbered guidelines must be "appropriate." No point value is required.

#### Site Details

Read through and fill out section 6. All applicable numbered guidelines must be "appropriate." No point value is required.

#### Additions

Although no specific section is designated for additions, read through and fill out sections 1, 4, and 7. 30 points are required.

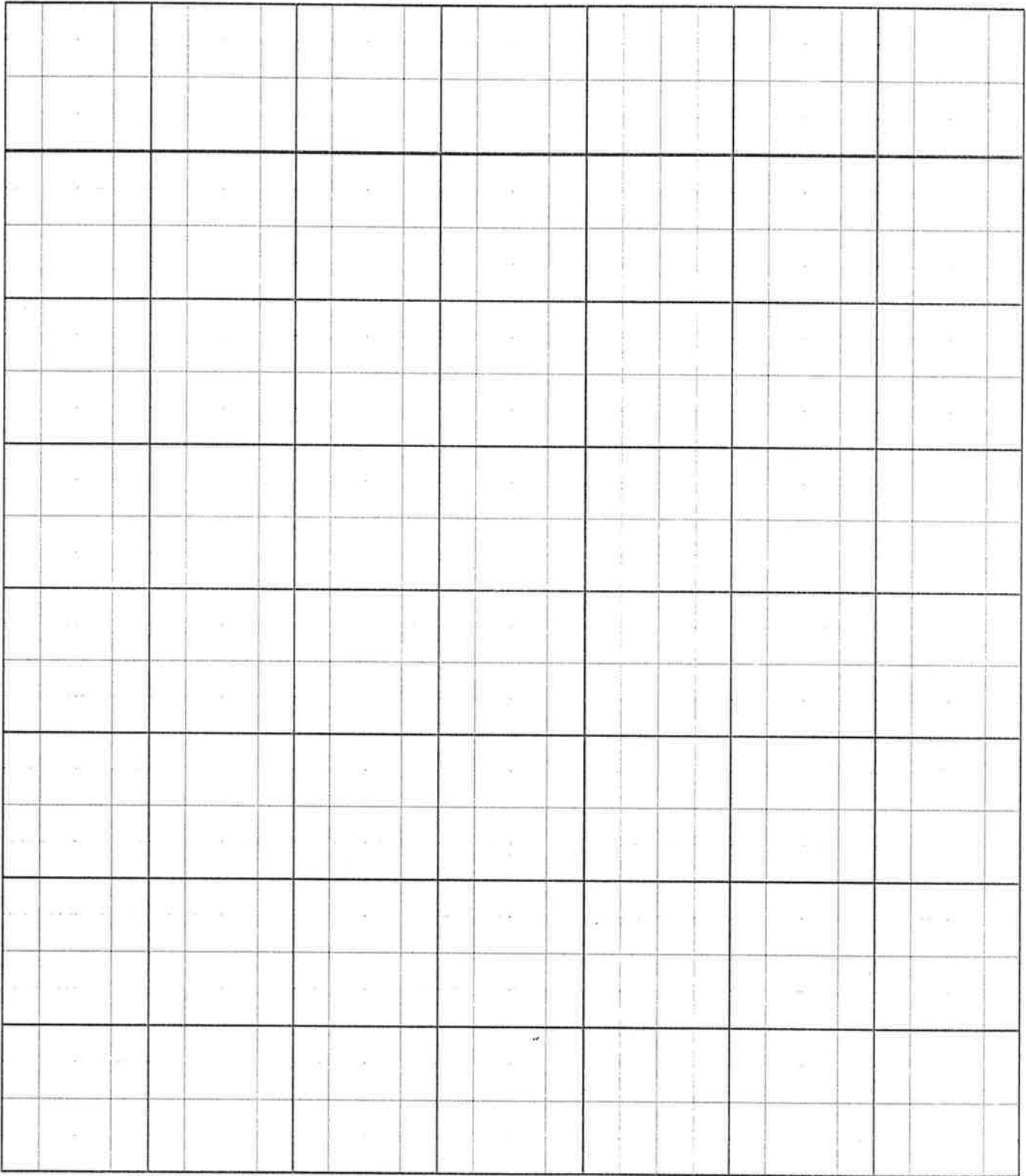
#### Renovations

Read through and fill out applicable guidelines under section 7 and any other sections that apply. 10 points are required.

#### Lot Use

Read through and fill out section 8 if any of the Site Use Guidelines apply to your proposal. No points are required.

# Sketch



Scale 1" =      feet

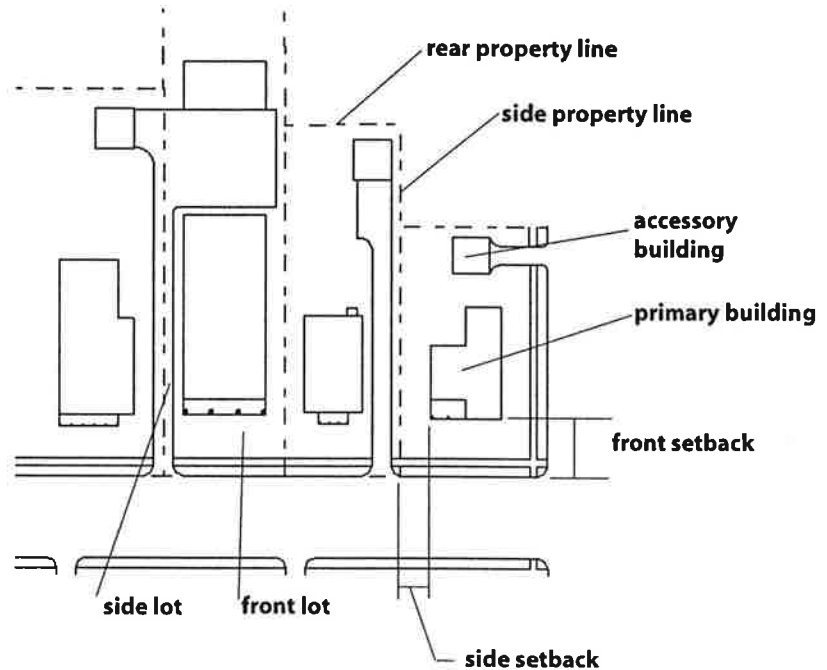
# Checklist

		Not Applicable	Appropriate	Points Earned
<b>1) Setbacks/ Building Width/ Coverage</b>	1a)			
	1b)			
	1c)			
	1d)			
	1e)			
	1f)			
	1g)			
	1h)			
	1i)			
	1j)			
	1k)			
	1l)			
<b>2) Accessory Buildings</b>	2a)			
	2b)			
	2c)			
	2d)			
	2e)			
	2f)			
	2g)			
	2h)			
<b>3) Parking/ Driveways</b>	3a)			
	3b)			
	3c)			
	3d)			
	3e)			
	3f)			
	3g)			
	3h)			
	3i)			
	3j)			
<b>4) Building Heights</b>	4a)			
	4b)			
	4c)			
	4d)			
	4e)			
	4f)			
	4g)			

		Not Applicable	Appropriate	Points Earned
<b>5) Landscaping</b>	5a)			
	5b)			
	5c)			
	5d)			
	5e)			
	5f)			
<b>6) Site Details</b>	6a)			
	6b)			
	6c)			
	6d)			
	6e)			
	6f)			
	6g)			
	6h)			
<b>7) Architec- tural Elements</b>	7a)			
	7b)			
	7c)			
	7d)			
	7e)			
	7f)			
	7g)			
	7h)			
	7i)			
	7j)			
<b>6) Lot Use</b>	8a)			
	8b)			
	8c)			
	8d)			
	8e)			
	8f)			
	8g)			
	8h)			
<b>Total Points</b>				

Points Needed: \_\_\_\_\_

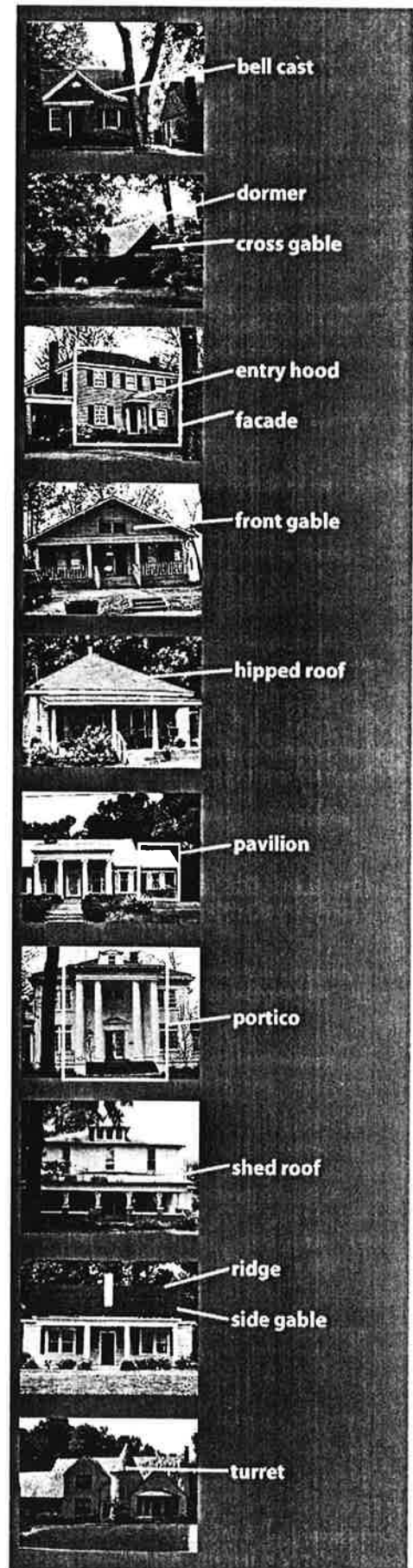
# Glossary

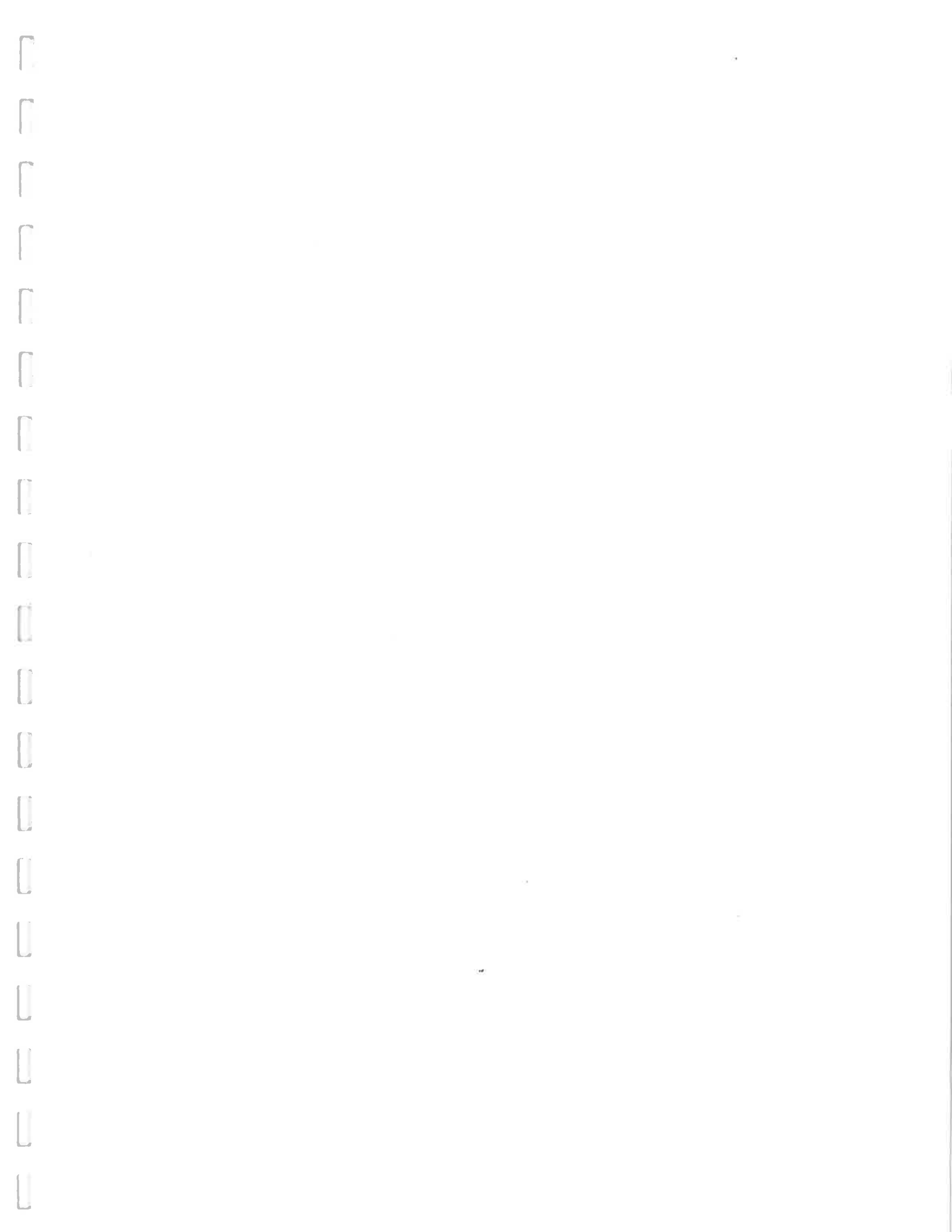


<b>accessory building</b>	A covered structure built separately from the primary building. (see diagram at top of page)
<b>addition</b>	A construction that increases the size of the original structure by building outside its existing walls and/or roof.
<b>area of ground floor</b>	The amount of space the ground floor covers, expressed in terms of square feet.
<b>area of lot</b>	The amount of land the lot covers, expressed in terms of square feet.
<b>building front</b>	The face of the building. (see <i>facade</i> )
<b>front property line</b>	An imaginary line drawn at the front edge of the property, usually at the curb. (see diagram at top of page)
<b>front setback</b>	The distance between the curb and the front of the house. The front porch is not included in the front setback. (see diagram at top of page)
<b>maximum building coverage</b>	The largest area that the primary building and accessory buildings may cover in the lot.
<b>maximum height</b>	The tallest dimension of the roof structure of the building, usually the highest ridge.
<b>primary building</b>	The building that has more ground floor area than any other structure on the lot (usually the house).
<b>rear property line</b>	An imaginary line drawn at the rear edge of the property. (see diagram at top of page)
<b>side property line</b>	An imaginary line drawn at the side edge of the property. (see diagram at top of page)
<b>side setback</b>	The distance between the side property line and the side of the house. (see diagram at top of page)

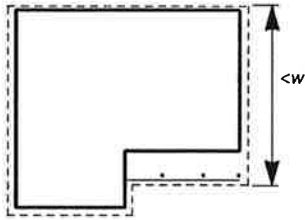
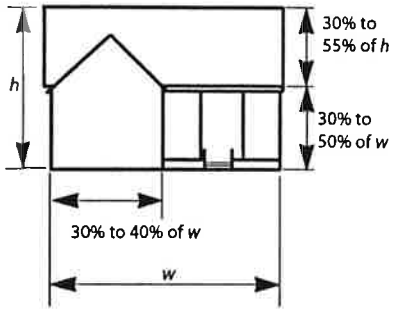
<b>asymmetrical</b>	Not symmetrical. (see <i>symmetrical</i> )
<b>bell-cast</b>	A form of mansard roof in which the lower roof slopes downward in a straight line and then curves outward at the eave. * see <i>example to right</i>
<b>cross gable</b>	Two gable roofs that intersect at right angles. * see <i>example to right</i>
<b>facade</b>	The front wall of a building or the wall in which the principal building entrance is located. * see <i>example to right</i>
<b>dormer</b>	A small structure that projects from a sloping roof, with a window in the downslope end; may have a gable, shed, or other shaped roof. (also known as dormant, dorment, dormont) * see <i>example to right</i>
<b>entry hood</b>	A projecting element over the front entry. see <i>example to right</i>
<b>front gable</b>	A building with a gable roof and the main entrances in one of the gable ends. * see <i>example to right</i>
<b>gable roof</b>	A pitched roof with two inclined planes having equal angles that meet at a peak in the center and terminate at a vertical gable. (also known as V-roof)
<b>hipped roof</b>	A roof that slopes inward from all exterior walls; forms a pyramid roof above a square plan; has a ridge shorter than the length of the building above a rectangular plan. * see <i>example to right</i>
<b>muntin</b>	The small moulding or bar that separates the individual planes of a multi-paned window sash. *
<b>pavilion</b>	An attachment to a larger building. see <i>example to right</i>
<b>portico</b>	A columned porch or ambulatory, especially at the main entrance to a Classical revival style building. * see <i>example to right</i>
<b>ridge</b>	The line formed where two sloping roof surfaces meet at the top; may be horizontal or inclined. * see <i>example to right</i>
<b>roof pitch</b>	The slope of the roof in relation to the horizontal, expressed as a ratio of vertical inches to 12 horizontal inches. *
<b>shed roof</b>	A roof with a single slope, with the rafters spanning from one outside wall to the opposite wall. (also known as lean-to, pent roof) * see <i>example to right</i>
<b>side gable</b>	A gable-roofed building with the main entrance below the eaves of one of the sloping sides of the roof. * see <i>example to right</i>
<b>symmetrical</b>	Having repetitive parts and proportions; in buildings, most often refers to the bilateral form, with mirror images about an imaginary vertical line. *
<b>turret</b>	A small tower attached to a larger building. see <i>example to right</i>

\* source:  
 Bucher, Ward, ed. **Dictionary of Building Preservation.**  
 New York: John Wiley and Sons, Inc, 1996.





### 3c

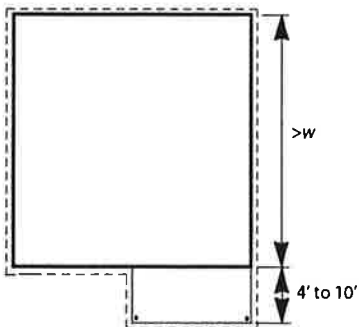
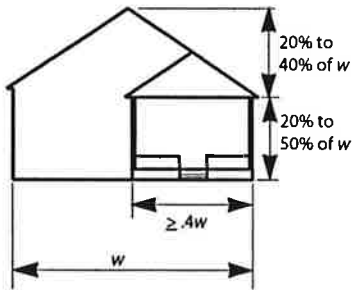


**One to one and a half story hipped or side gable with one cross gable to the side. Porch occurs either under the main side gable form, or as a shed extension of the side gable form. The pitch of the shed porch extension should not exceed 4:12.**

Appropriate in: *Madison, Robins, Church, Highland, and Magazine* districts.



### 3d



**One story, front gable. Porch is to one side of front and has a gable roof with same pitch as house roof.**

Appropriate in: *Madison, Robins, Highland, Church, Mill Village, and Magazine* districts.

